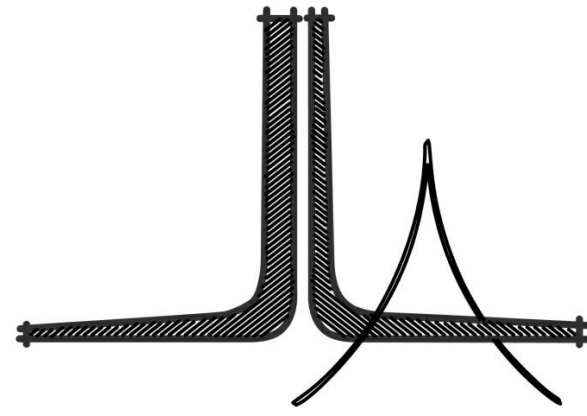
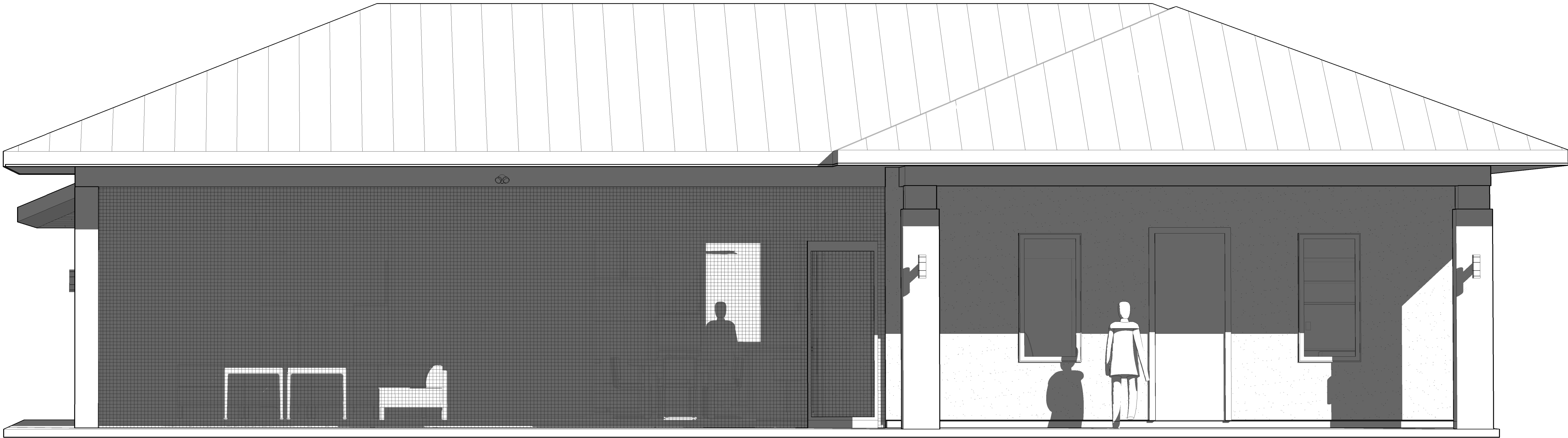
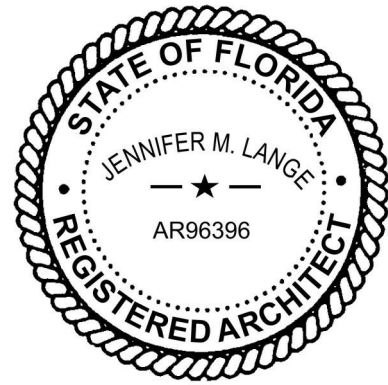


A NEW GUEST HOUSE FOR  
**THE FISHER FAMILY**  
5721 WESTPORT LANE    NAPLES, FLORIDA    34116



JENNIFER LANGE ARCHITECT  
239.777.9149 - WWW.JL-RA.COM - AA96396



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COVER SHEET

**THE FISHER RESIDENCE**  
5721 WESTPORT LANE  
NAPLES, FLORIDA 34116

**GENERAL NOTES**

- DO NOT SCALE THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK ALL DIMENSIONS. IF CONFLICTS EXIST BETWEEN DIMENSIONS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS. ALL EXISTING CONDITIONS ARE NOT NECESSARILY SHOWN HEREIN. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES. THE COORDINATION OF TRADES AND COMPLIANCE WITH APPLICABLE CODES, WHETHER SHOWN OR NOT, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY ALL WINDOW AND DOOR SIZES AND OPENINGS REQUIRED WITH THE WINDOW AND DOOR MANUFACTURERS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THIS OFFICE DOES NOT ACCEPT RESPONSIBILITY FOR THE INTERPRETATION OF THESE DRAWINGS BY OTHERS, UNLESS REQUESTED IN WRITING.

**CODES REFERENCED**

**CODE COMPLIANCE:**  
ALL NEW WORK SHALL BE IN ACCORDANCE WITH THE BUILDING CODES LISTED BELOW, BEING THE LATEST EDITION AS ADOPTED BY THE BUILDING AUTHORITIES HAVING JURISDICTION: EFFECTIVE JANUARY 1, 2021

- 2020 FLORIDA BUILDING CODE, BUILDING 7TH EDITION
- 2020 FLORIDA BUILDING CODE, RESIDENTIAL, 7TH EDITION
- 2020 FLORIDA TEST PROTOCOLS FOR HIGH VELOCITY HURRICANE ZONES, 7TH EDITION
- 2020 FLORIDA BUILDING CODE, ACCESSIBILITY, 7TH EDITION
- 2020 FLORIDA BUILDING CODE, ENERGY CONSERVATION, 7TH EDITION
- 2020 FLORIDA BUILDING CODE, PLUMBING, 7TH EDITION
- 2020 FLORIDA BUILDING CODE, MECHANICAL, 7TH EDITION
- 2020 FLORIDA BUILDING CODE, FUEL GAS, 7TH EDITION
- FLORIDA FIRE PREVENTION CODE 7TH. EDITION
- 2017 NATIONAL ELECTRIC CODE (NFPA70)

**PROJECT CONTACTS**

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**GENERAL CONTRACTOR**  
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**SQUARE FOOTAGE CALCULATIONS**

**NEW CONSTRUCTION**  
AREA TOTALS:  
A/C LIVING 720 SQ.FT.  
GARAGE 795 SQ.FT.  
UNCONDITIONED SUNROOM,  
STORAGE & BATH 640 SQ.FT.  
SCREENED PATIO 625 SQ.FT.  
TOTAL UNDER ROOF: 2,780 SQ. FT.

**PROJECT DATA**

- A. **SCOPE OF WORK:**  
THE PROJECT INVOLVES THE CONSTRUCTION OF NEW GUEST HOUSE.  
**BUILDING AREA:**  
40% OF THE MAIN RESIDENCE 720SF UNDER AIR (PER CODE)  
FIRST FLOOR FOOTPRINT (UNDER ROOF): 2,700 SF  
SEE SQUARE FOOTAGE CALCULATIONS THIS SHEET FOR BREAKDOWN  
**ZONING & SETBACKS:**  
ZONING: (E) ESTATES  
FRONT YARD SETBACK - 75'-0"  
SIDE YARD SET BACK - 30'-0"  
REAR YARD SETBACK - 75'-0"  
**BUILDING OCCUPANCY CLASSIFICATION:**  
SINGLE FAMILY RESIDENTIAL GROUP R-3,  
RESIDENTIAL AS PER FBC BUILDING 2020 SECTION 310.5.  
CONSTRUCTION TYPE (PER FBC BUILDING 2020 SECTION 602)  
TYPE III - UNPROTECTED, (NON-SPRINKLED)
- E. **FLOOD:**  
ZONE: X/X500/AH BASE FLOOD ELEVATION: 11.00' NAVD  
MINIMUM DESIGN FLOOD ELEVATION: BFE+1' = 12'-0" NAVD  
MINIMUM 18" ABOVE CROWN OF ROAD: COR 9.9' NAVD + 18" = 11.4' NAVD  
REFER TO SITE PLAN & FOUNDATION/PLUMBING PLANS FOR ACTUAL F.F.E. AND COORDINATE WITH DRAINAGE PLAN.
- F. **EGRESS REQUIREMENTS:**  
EGRESS WINDOWS ARE SHOWN ON THE WINDOW SCHEDULE
- G. **ALTERATION LEVEL: II**  
**EXOTIC VEGETATION:**  
THIS PROPERTY HAS PREVIOUSLY BEEN CLEARED. NO EXOTICS EXIST ON PROPERTY. NO CLEARING IS PROPOSED.
- I. **DESIGN PARAMETERS FOR WIND LOADS:** (APPLIED PER ASCE 7-16-CHAPTER 30 / PART 1  
RISK CATEGORY:  
☐ CATEGORY I ☐ CATEGORY III  
☒ CATEGORY II ☐ CATEGORY IV  
**BASIC WIND SPEED:**  
DESIGN WIND SPEED IS 170 MPH (ULTIMATE) 132 MPH (NOMINAL)  
IMPORTANCE FACTOR=1w-2.0 (SINGLE FAMILY RESIDENTIAL STRUCTURE) FLORIDA BUILDING CODE 2020 EDITION  
INTERNAL PRESSURE COEFFICIENT+/-18/-18 ENCLOSED BUILDING OPENINGS ARE PROTECTED FROM FLYING DEBRIS WITH IMPACT GLASS OR SHUTTERS.
- K. **EXPOSURE CATEGORY:** (FBC SECTION 1609 WIND LOAD)  
CATEGORY C  
ALLOWABLE BUILDING HEIGHT: 18'-2" ABOVE FIN. FL. (35'-0" ALLOWED) NO. OF STORIES: 1  
INTERNAL PRESSURE COEFFICIENT: (TABLE 6-7 ASCE 7.02)  
☐ 0.00 (OPEN)  
☒ +18/-18 (ENCLOSED) BLDG OPENINGS ARE PROTECTED FROM FLYING DEBRIS W/ IMPACT GLASS OR SHUTTERS  
☐ +55/-55 (PARTIALLY ENCLOSED)

**INDEX OF DRAWINGS**

SHEET NUMBER	SHEET NAME
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A1.4	POWER AND LIGHTING PLAN
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S5.2	ROOF FRAMING DETAILS

No.	REVISIONS	Date
1	REV. 1 - PERMIT COMMENTS 1	08/18/2022

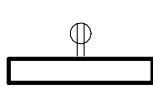



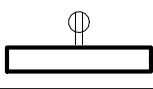
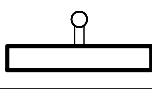
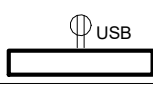
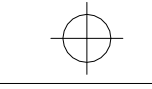
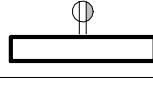
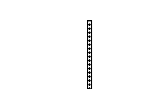
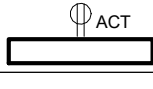
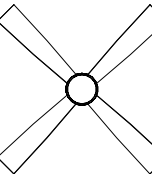

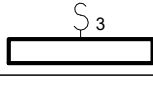
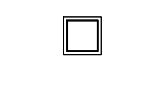
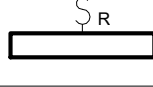
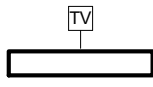

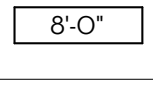
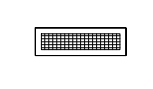

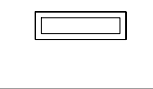
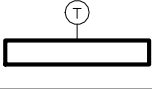

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CHECKED BY	JML

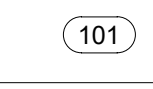
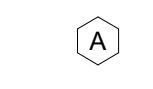
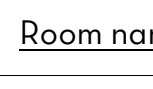

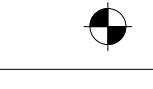
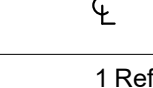
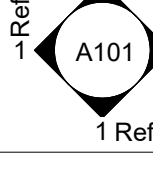

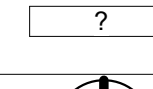
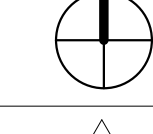
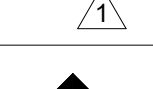
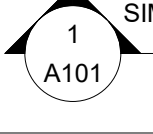
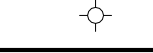
**AO.1**

SCALE

ABBREVIATIONS

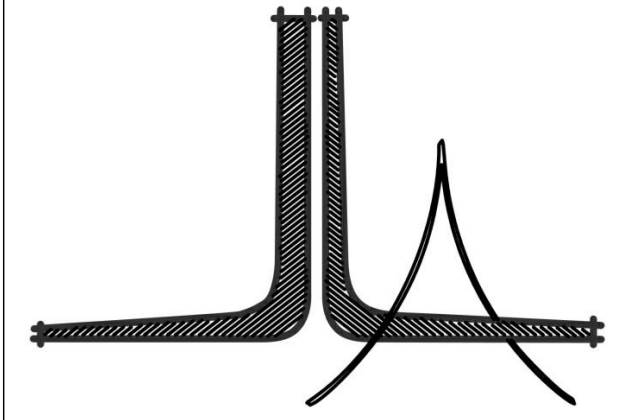
AFF	ABOVE FINISH FLOOR
A	ANGLE
A.F.F.	ABOVE FINISH FLOOR
A/C	AIR CONDITIONING
ABV	ABOVE
AH	AIR HANDLER
ALT	ALTERNATE
ALUM	ALUMINUM
ANC	ANCHOR
BATT	BATTING
BLW	BELOW
BM	BEAM
BOTT	BOTTOM
BRG	BEARING
BTWN	BETWEEN
BO	BOTTOM OF
CAB	CABINET
CHG	CHANGE
C.I.P.	CAST IN PLACE
CLG	CEILING
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTION
CONST	CONSTRUCTION
CG	CORNER GUARD
CMU	CONCRETE MASONRY UNIT
CO	CASED OPENING
CONT	CONTINUOUS
CTLS	CONTROLS
CSMT	CASEMENT
C/L	CENTERLINE
DECO	DECORATIVE
DIA	DIAMETER
DR	DOOR
DW	DISHWASHER
DH	DOUBLE HUNG
DFE	DESIGN FLOOD ELEVATION
DTE	DETAIL
DS	DOWNSPOUT
EA	EACH
EP	ELECTRICAL PANEL
EF	EXHAUST FAN
EJ	EXPANSION JOINT
ELEV	ELEVATION
ETR	EXISTING TO REMAIN
ENCLO	ENCLOSURE
ENG	ENGINEER
EXT	EXTERIOR
EQ	EQUAL
FBC	FLORIDA BUILDING CODE
FIN	FINISH
FF	FINISH FLOOR
F.G.	FIXED GLASS
FFE	FINISH FLOOR ELEVATION
FD	FLOOR DRAIN
FO	FACE OF
FLR	FLOOR
FT	FOOT
GA	GAUGE
GALV.	GALVANIZED
GYP BD	GYPSUM BOARD
G.C.	GENERAL CONTRACTOR
GFI	GROUND FAULT INTERRUPTED
GR	GRADE
GWB	GYPSUM WALL BOARD
HDG	HOT DIPPED GALVANIZED
HDR	HEADER
HORIZ	HORIZONTAL
HT	HEIGHT
HM	HOLLOW METAL
ID	INSIDE DIAMETER
INSUL	INSULATION
INT	INTERIOR
IN	INCHES
LAV	LAVATORY
LVL	LAMINATED VENEER LUMBER
M.C.	MEDICINE CABINET
MAX	MAXIMUM
MIN	MINIMUM
MTL	METAL
MANUF	MANUFACTURER
NGVD	NATIONAL GEODETIC VERTICAL DATUM
NO	NUMBER
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFE	OWNER FURNISHED EQUIPMENT
PKS	PRECAST KEYSTONE
PBO	PROVIDED BY OWNER
PT	PRESSURE TREATED
PRE-ENG	PRE-ENGINEERED
PL	PLATE
PROJ	PROJECTED
PTD	PAINTED
PED	PEDESTAL
PSI	PER SQUARE INCH
R	RADIUS
REINF	REINFORCEMENT
REF	REFRIGERATOR
RO	ROUGH OPENING
RD	ROOF DRAIN
REQ	REQUIRED
REV	REVISED
RIND	ROUND
SCH	SCHEDULE
SIM	SIMILAR
SS	STAINLESS STEEL
SQ	SQUARE
SPECS	SPECIFICATIONS
STL	STEEL
SYP	SOUTHERN YELLOW PINE
TBD	TO BE DETERMINED
T.B.	TIE BEAM
TO	TOP OF
T. BAR	TOWEL BAR
TYP	TYPICAL
TEMP	TEMPERED
T&G	TONGUE AND GROOVE
TPH	TOILET PAPER HOLDER
TV	TELEVISION
UNO	UNLESS NOTED OTHERWISE
VAC	VACUUM
VERT	VERTICAL
V.C.	VAPOR PROOF
VIF	VERIFY IN FIELD
W/	WITH
WR	WATER RESISTANT
WP	WATER PROOF

ELECTRICAL/LIGHTING LEGEND			
	DUPLEX RECEPTACLE, 15A, 125V WITH ARC FAULT CIRCUITS AT ALL LIVING AREAS AS PER CODE. USE GFI AT ALL WET LOCATIONS. MOUNT HORIZONTALLY IN BASEBOARDS AND KITCHEN BACKSPLASH		4" LED RECESSED LIGHTING FIXTURE, WHITE PENDANT FIXTURE TYPES/OOF (WP) AT WET LOCATIONS
			PENDANT LIGHT FIXTURE.
	DUPLEX GFI CONVENIENCE OUTLET (WHITE) - CENTERLINE @ 18" A.F.F. U.N.O.		EXTERIOR WALL MOUNTED SCONCE FIXTURE. MANUF: DALS MODEL: LEDWALLOOID-BK
	DUPLEX USB CONVENIENCE OUTLET (WHITE) - CENTERLINE @ 18" A.F.F. U.N.O		SURFACE MOUNTED CEILING FIXTURE
	HALF HOT SINGLE AND SWITCH WALL SWITCH (WHITE)		LED STRIP LIGHT. AT LOCATIONS UNDER VANITY PROVIDE MOTION ACTIVATED NIGHT LIGHT
	DUPLEX CONVENIENCE OUTLET (WHITE) - CENTERLINE ABOVE COUNTER MOUNT		CEILING FAN
	SINGLE RECEPTICLE 20A, 220V (WHITE) - FOR APPLIANCE OR EQUIPMENT		
	WALL SWITCH 3-WAY, 15-20A, 125V (WHITE)		NUTONE MODEL *QT-80 BATHROOM EXHAUST FAN
	WALL SWITCH REMOTE CEILING FAN, 15-20A, 125V (WHITE)		
	TELEVISION OUTLET		COMBINATION CARBON MONOXIDE/SMOKE DETECTOR AS PER CODE WITH BATTERY BACKUP. LOCATION OF CARBON MONOXIDE/SMOKE DETECTOR CANNOT BE WITHIN 3'-0" OF AIR REGISTERS, FANS OR BATHROOMS.
	FINISHED CEILING HEIGHT ABOVE FINISHED FLOOR		
	SUPPLY AIR GRILLS		ELECTRIC PANEL
	RETURN AIR GRILLS		PROGRAMMABLE DIGITAL THERMOSTAT, WHITE.
			SECURITY/MOTION FLOOD LIGHTS

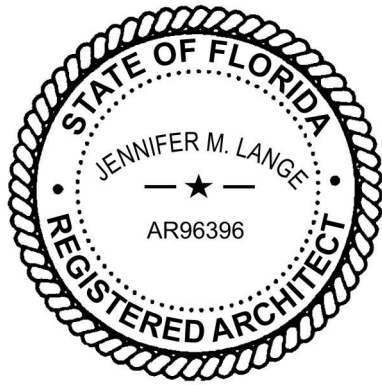
FLOOR PLAN LEGEND	
	DOOR REFERENCE MARK
	WINDOW REFERENCE MARK
	ROOM IDENTIFICATION MARK
	STEP
	ELEVATION MARK
	CENTERLINE
	ELEVATION REFERENCE MARK: INSIDE CIRCLE SHEET REFERENCE OUTSIDE CIRCLE ELEVATION REFERENCE
	EXTERIOR BUILDING ELEVATION
	KEYNOTE MARK
	NORTH ARROW
	REVISION TAG
	BUILDING SECTION OR DETAIL REFERENCE MARK UPPER DESIGNATION ELEVATION REFERENCE LOWER DESIGNATION SHEET REFERENCE
	HOSE BIB (HB)

GENERAL NOTES

- INTERPRETATION**  
THE ARCHITECT IS SOLELY RESPONSIBLE FOR THE DESIGN INTERPRETATION OF THE CONSTRUCTION DOCUMENTS. THE INFORMATION CONTAINED WITHIN THESE CONSTRUCTION DOCUMENTS IS ISSUED TO INDICATE DESIGN INTENT AND BASIC FRAMING DETAILS. BY ENTERING INTO A CONTRACT, THE GENERAL CONTRACTOR ASSUMES RESPONSIBILITY TO PERFORM ALL WORK WITHIN STANDARD CONSTRUCTION PRACTICES THAT ENSURE PROPER STRUCTURAL, WEATHERPROOF CONSTRUCTION, AND QUALITY WORKMANSHIP. ALL CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES AND STANDARDS. THE GENERAL CONTRACTOR AND OWNER SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES OR PROBLEMS OBSERVED OR PERCEIVED WITHIN THESE DOCUMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- DRAWING SCALE**  
DO NOT SCALE THESE DRAWINGS. ONLY USE ALL GIVEN DIMENSIONS; IF NOT SHOWN, VERIFY CORRECT DIMENSIONS WITH THE ARCHITECT. CONTRACTOR / SUBCONTRACTOR SHALL VERIFY AND CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- FIELD CONDITIONS**  
THE CONTRACTOR / SUBCONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS RELATED TO THEIR SCOPE OF WORK AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS, CONDITIONS AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE CONTRACT DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ARCHITECT AT ONCE IN WRITING.
- MEANS & METHODS OF CONSTRUCTION**  
THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTORS BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT, UNLESS CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS CONCERNING THESE MATTERS.
- BUILDING SYSTEMS**  
THE CONTRACTOR SHALL COORDINATE THE LOCATION AND INSTALLATION OF BUILDING SYSTEMS AND EQUIPMENT AND VERIFY THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF THE EQUIPMENT AND ASSOCIATED WORK ARE PROVIDED. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING SYSTEMS: MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING, TELEPHONE, AND CABLE
- CLEARANCES**  
THE CONTRACTOR SHALL COORDINATE WITH ALL BUILDING TRADES INVOLVED IN THE PROJECT TO INSURE PROPER CLEARANCES FOR FIXTURES, DUCTS, CEILINGS, ETC. WHILE MAINTAINING THE SPECIFIED CEILING HEIGHTS NOTED ON THE DOCUMENTS. CLARIFY ANY CONFLICTS WITH THE ARCHITECT.
- LOCATIONS**  
GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE (WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE TV ETC) CONNECTIONS. ALL CONNECTIONS, METER, CLEAN OUTS ETC., SHALL BE LOCATED IN A NON-VISUALLY OFFENSIVE AREA. ELECTRICAL PANELS, TELEPHONE EQUIPMENT, ETC. SHALL BE LOCATED IN ACCORDANCE WITH REQUIREMENTS OF GOVERNING AGENCIES. ANY LOCATIONS NOT SHOWN SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO ROUGH-OUT AND INSTALLATION. UNLESS NOTED OTHERWISE, WHERE APPLICABLE, THE ABOVE PANELS AND / OR EQUIPMENT SHALL BE FULLY RECESSED & MAINTAIN THE INTEGRITY OF ALL FIRE RATING REQUIREMENTS.
- PERMITS/ INSPECTIONS**  
UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SECURE AND PAY FOR THE BUILDING PERMIT AND OTHER GOVERNMENT FEES, LICENSES AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF WORK. THE CONTRACTOR SHALL COMPLY WITH AND GIVE NOTICES REQUIRED BY LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON PERFORMANCE OF THE WORK.
- PARTITIONS**  
PARTITIONS WHICH EXTEND TO THE UNDERSIDE OF STRUCTURE SHALL BE TIGHTLY SEALED. FILL ALL VOIDS AS DETAILED AND / OR AS REQUIRED USING MATERIALS APPROVED BY GOVERNING CODES. PENETRATIONS OF PIPES, TUBES, CONDUIT, WIRES, CABLES, DUCTS, VENTS, CABINETS, LIGHTING, AND OTHER FIXTURES THROUGH ASSEMBLIES, WALLS OR FLOORS SHALL BE INSTALLED AND SEALED TO MAINTAIN ENCLOSURE.
- DOORS AND WINDOWS**  
DOOR AND WINDOW SIZES INDICATED ON PLANS ARE NOTED BY GENERIC SIZES. GC TO VERIFY ALL WINDOW AND DOOR SIZES AND OPENINGS REQUIRED WITH THE WINDOW AND DOOR MANUFACTURERS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DOOR AND WINDOW ATTACHMENT REQUIREMENTS ARE THE RESPONSIBILITY OF THE WINDOW MANUFACTURER. ATTACHMENT INFORMATION GIVEN BY THE MANUFACTURE IS PROVIDED HEREIN, HOWEVER, THE WINDOW MANUFACTURER IS A DELEGATED ENGINEER, AND AS SUCH, IS RESPONSIBLE FOR THE VALIDITY OF THE ATTACHMENT INDICATED, AND MAY CHANGE THE REQUIRED ATTACHMENT AS NECESSARY, PROVIDING DOCUMENTATION OF SUCH CHANGE T OTHER ENGINEER OF RECORD.
- SECURITY SYSTEMS AND SMOKE DETECTORS**  
(IF APPLICABLE) HARDWIRE (WITH BATTERY BACKUP) SECURITY SYSTEM AND SMOKE DETECTORS. GC TO VERIFY AND COORDINATE NUMBER OF DETECTORS AND LOCATIONS WITH ARCHITECT AND CODE REQUIREMENTS
- SHELVING AND CLOSETS**  
GC SHALL COORDINATE WITH THE DOCUMENTS AND ARCHITECT ALL SHELVING AND CLOSET REQUIREMENTS
- PROTECTION OF FLOOR SURFACES**  
CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR ALL NEW OR EXISTING FLOOR MATERIALS THROUGHOUT CONSTRUCTION
- PROVIDE FINAL CLEANING OF ALL SURFACES, DIFFUSERS, GRILLES, ETC..
- DEFINITIONS AND TERMINOLOGY:**
  - "TYPICAL" UNLESS NOTED OTHERWISE, MEANS IDENTICAL FOR ALL CONDITIONS WHICH MATCH ORIGINAL CONDITION AS INDICATED.
  - "ALIGN" MEANS ALIGNMENT OF SIMILAR COMPONENTS OF CONSTRUCTION (WALL, JAMBS, ETC.) WHICH ARE ADJACENT OR THE COMPONENTS SHALL BE IN LINE WITH EACH OTHER ACROSS VOIDS. DIMENSIONS ARE NOT ADJUSTABLE UNLESS NOTED WITH PLUS/ MINUS TOLERANCE.



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NOTES & LEGENDS

THE FISHER RESIDENCE  
5721 WESTPORT LANE  
NAPLES, FLORIDA 34116

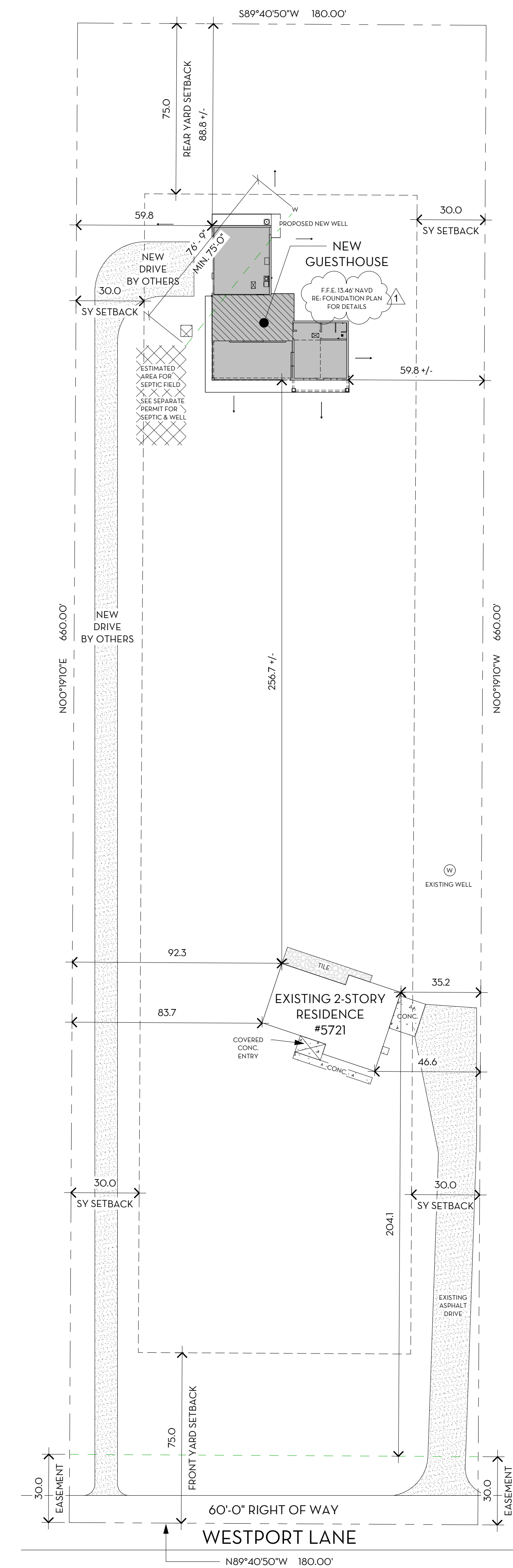
No.	REVISIONS	Date

PROJECT NUMBER	2113
DATE	2022.03.08
DRAWN BY	JML
CHECKED BY	JML

AO.2

SCALE	1/4" = 1'-0"
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NOTE: CONTRACTOR AND SURVEYOR TO VERIFY  
PLACEMENT OF HOUSE PRIOR TO START OF  
CONSTRUCTION.

NOTE: CONTRACTOR AND SURVEYOR TO VERIFY  
PLACEMENT OF HOUSE PRIOR TO START OF  
CONSTRUCTION.

## LEGAL DESCRIPTION

THE EAST 180 FEET OF TRACT 102, GOLDEN GATE ESTATES, UNIT 31, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 7, PAGE 59, OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA.

ADDRESS: 5721 WESTPORT LANE, NAPLES, FLORIDA 34116

SUBDIVISION:


PARCEL NO: 38228760000

COUNTY: COLLIER

CITY: NAPLES

## SITE PLAN LEGEND

 HATCH REPRESENTS GUEST HOUSE  
UNDER ROOF, UNCONDITIONED

 HATCH REPRESENTS NEW A/C AREA IN GUEST HOUSE

— ARROW REPRESENTS WATER FLOW:  
GRADE AWAY FROM HOUSE  
4:1 MAX. SLOPE, TYP.

## DRAINAGE

EXISTING LOT IS LEVEL WITH SLIGHT PITCH TOWARDS STREET. SIDE YARDS TO DRAIN INTO EASEMENTS ALONG PROPERTY LINES; PITCH REAR YARD AWAY FROM HOUSE; PITCH FRONT YARD TOWARDS SWALE AT RIGHT-OF-WAY. DRAINAGE INDICATED BY ARROWS:

**NOTE: THE PUBLIC R.O.W., WATERWAY AND ADJOINING PROPERTIES MUST BE PROTECTED FROM SURFACE WATER RUN OFF AND EROSION THROUGHOUT THE CONSTRUCTION PROCESS.**

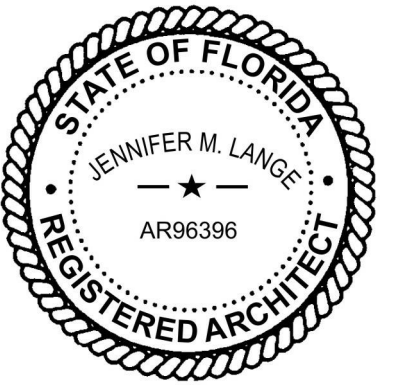
## IMPERVIOUS AREA CALCULATIONS

REFER TO DRAINAGE PLAN UNDER SEPARATE COVER 1

### R322.1.6 - PROTECTION OF SYSTEMS

R322.1.6 - PROTECTION OF MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS. ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS; HEATING, VENTILATING, AIR CONDITIONING; PLUMBING APPLIANCES AND PLUMBING FIXTURES; DUCT SYSTEMS; AND OTHER SERVICE EQUIPMENT SHALL BE LOCATED AT OR ABOVE THE ELEVATION REQUIRED IN SECTION R322.2 OR R322.3. AIR CONDITIONING MUST BE ELEVATED TO AT LEAST BASE FLOOR ELEVATION PLUS 1 FOOT.

LOCATION MAP 5721 WESTPORT LANE NAPLES, FLORIDA 34116



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# SITE PLAN

# THE FISHER RESIDENCE

5721 WESTPORT LANE  
NAPLES, FLORIDA 34116

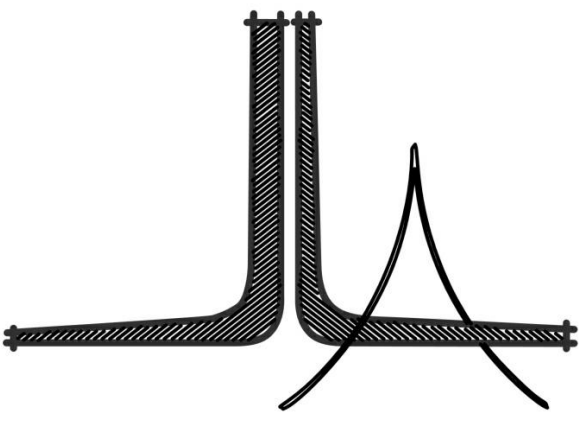
No.	REVISIONS	Date
1	REV. 1 - PERMIT COMMENTS 1	08/18/2022

PROJECT NUMBER	2113
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# A1.0

SCALE  $1/32" = 1'-0"$





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## PLUMBING/FOUNDATION PLANS

### THE FISHER RESIDENCE

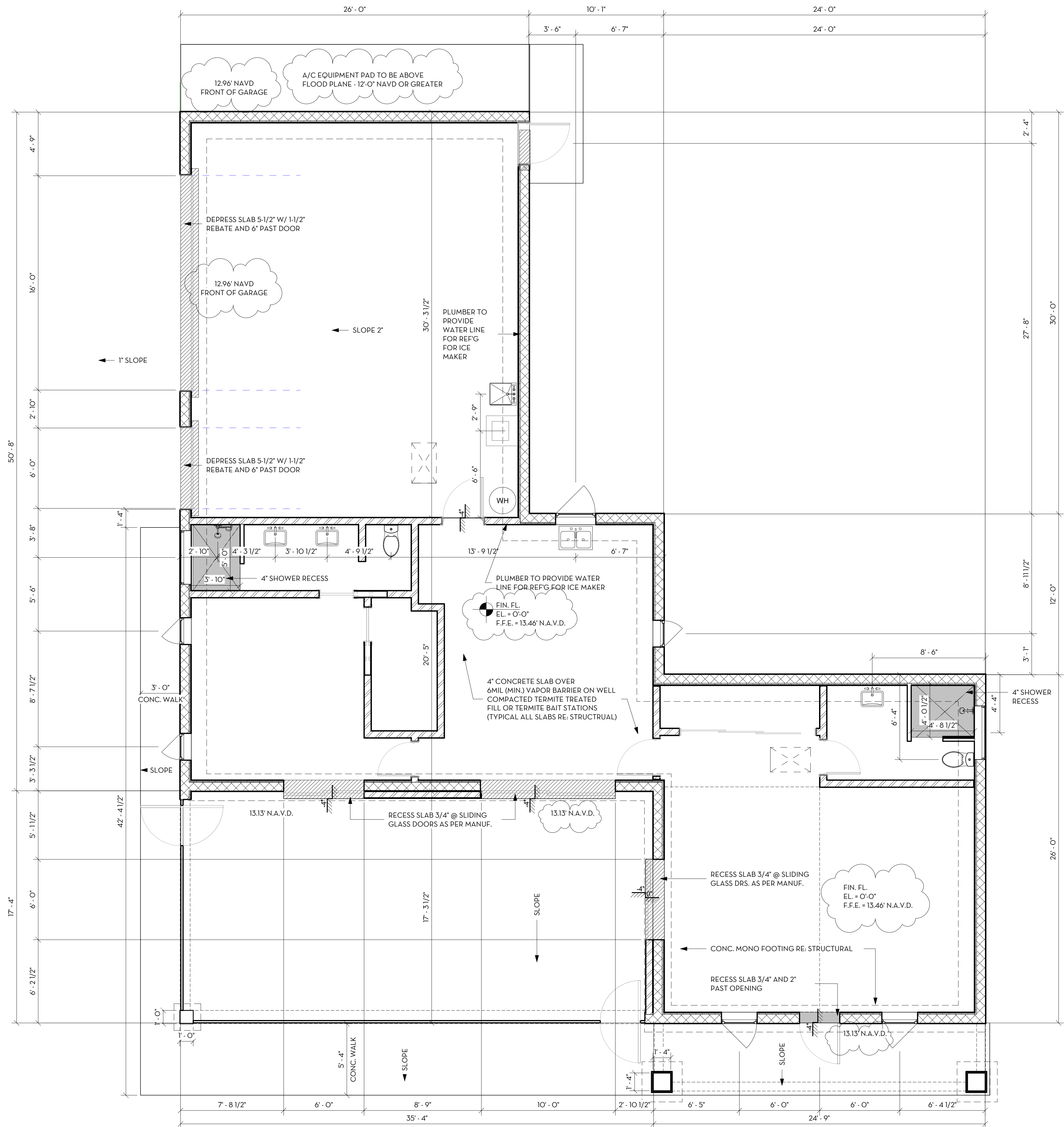
5721 WESTPORT LANE  
NAPLES, FLORIDA 34116

No.	REVISIONS	Date
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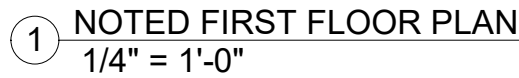
# A1.1

SCALE 1/4" = 1'-0"






1 FOUNDATION PLAN  
1/4" = 1'-0"

NAVD ELEVATIONS REPRESENT CHANGES IN FINISHED FLOOR ELEVATIONS. DEPRESS SLABS AS NECESSARY FOR FINISH FLOOR MATERIALS. REFER TO STRUCTURAL SHEETS FOR ALL REBAR PLACEMENT, SIZES AND DETAILS.



### WALL HATCH LEGEND

	EXTERIOR MASONRY WALL
	INTERIOR FRAME PARTITION
	6'-0" HIGH SHOWER PARTITION. SHAMPOO NICHE AS PER PLANS

NOTE: INTERIOR LOAD BEARING WALLS WILL BE LOCATED ON PLANS  
AFTER THE ROOF TRUSS ENGINEERING HAS BEEN COMPLETED.

DOOR SCHEDULE NOTES:

1. ALL EXTERIOR AND INTERIOR DOORS TO BE SOLID WOOD, PAINT FINISHED WITH PAINTED FRAME AND CASING. COORDINATE WITH ARCHITECT AND OWNER ON COLOR AND FINISH

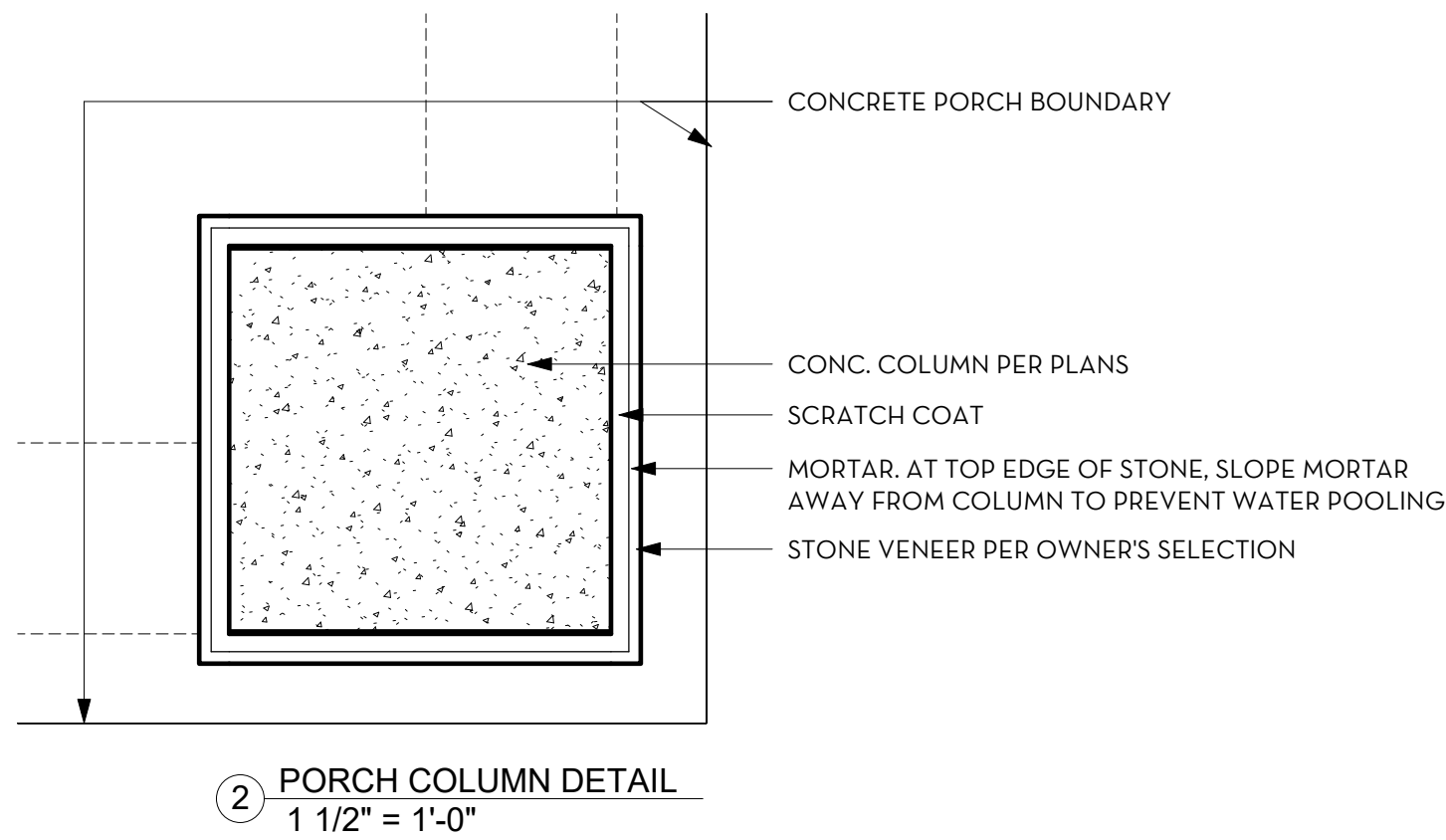
A. ALL HARDWARE TO BE LEVER HANDLES

WINDOW GENERAL NOTES:

1. CONTRACTOR TO VERIFY THE SIZE OF MASONRY OPENINGS REQUIRED WITH WINDOW MANUFACTURER.
2. PROVIDE MATCHING SCREENS FOR OPERABLE UNITS NOT ENCLOSED BY SCREENED PATIO.
3. ALL HEAD HEIGHTS ARE MEASURED FROM THE FLOOR THE WINDOW IS LOCATED ON, UNLESS OTHERWISE NOTED.
4. FIBERGLASS INSECT SCREENS ON OPERABLE WINDOWS, AND POLISHED CHROME HARDWARE.

WINDOW REMARKS:

1. WINDOW TO SIT AT COUNTERTOP HEIGHT.



EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE APPROXIMATELY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.

TYPICAL AT ALL INTERIOR CEILING TO BE 5/8" G.W.B. OR 1/2" SAG RESISTANT CONTROL DENSITY BOARD.

OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" THICK, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20- MINUTE FIRE-RATED DOORS.

DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN. NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.

THE GARAGE SHALL BE SEPARATED FROM THE MAIN RESIDENCE AND ITS ATTIC BY NOT LESS THAN 1/2" GYP. BD. APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE "X" GYP. BD. OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYP. BD. OR EQUIVALENT.



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NOTED FIRST FLOOR PLAN - DOOR &amp; WINDOW SCHEDULE

# THE FISHER RESIDENCE

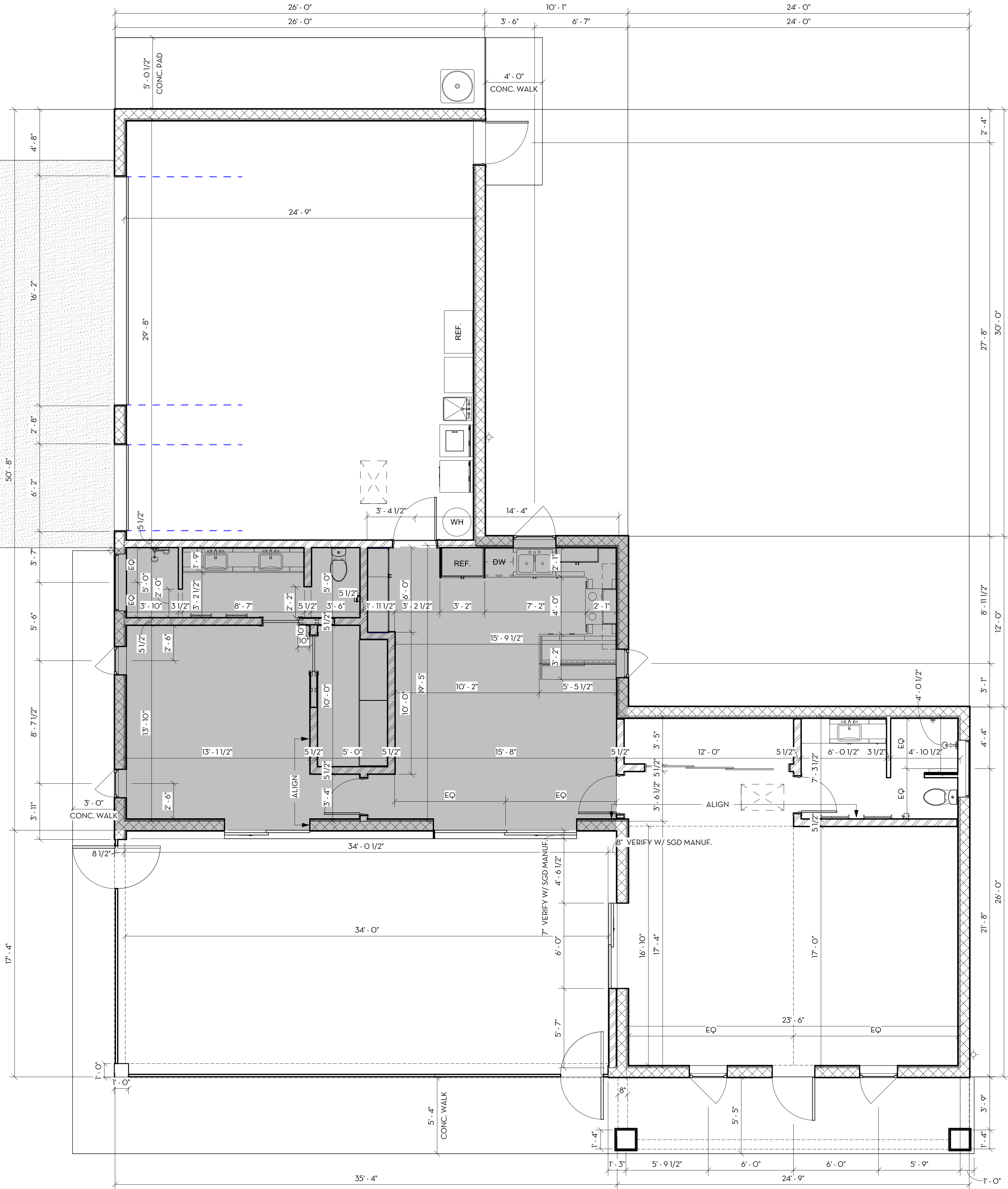
5721 WESTPORT LANE  
NAPLES, FLORIDA 34116

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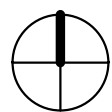
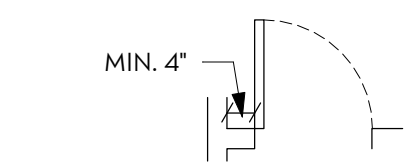
## A1.2

SCALE	As indicated
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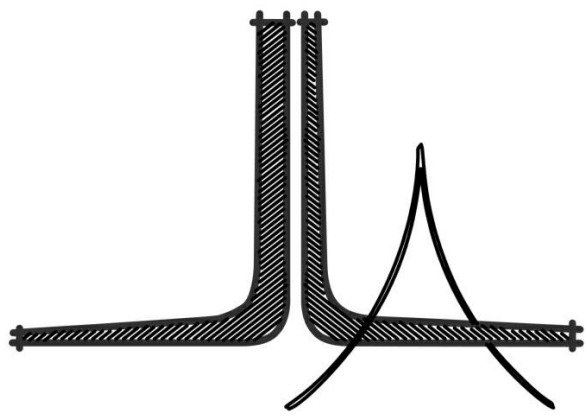


1 DIMENSIONED FLOOR PLAN S  
1/4" = 1'-0"

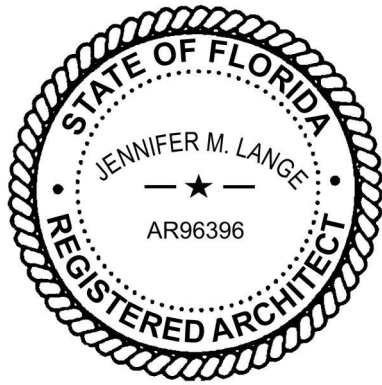


FLOOR PLAN GENERAL NOTES

- ALL FLOOR PLAN DIMENSIONS FOR NEW CONSTRUCTION ARE TO FACE OF STUD OR MASONRY. ALL FLOOR PLAN DIMENSIONS FOR EXISTING CONSTRUCTION ARE TO FACE FINISHES.
- IN CASE OF DISCREPANCY AND/OR CONFLICTS BETWEEN DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE TO FULFILL THE MOST STRINGENT OF THE REQUIREMENTS AS RELATED TO QUALITY AND QUANTITY UNLESS OTHERWISE DIRECTED BY THE ARCHITECT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CLARIFY ANY DISCREPANCIES PRIOR TO ACTUAL CONSTRUCTION.
- ALL BRICK AND CONCRETE MASONRY BLOCK UNITS SHALL BE RUNNING BOND.
- ALL PARTIAL WALL CONSTRUCTION OR WALL REPAIRS ARE TO ALIGN WITH THE FINISH OF THE PARALLEL EXISTING WALL CONSTRUCTION OR MULLIONS. JOINTS SHOULD BE LEVEL, SMOOTH, AND CLEAN IN ORDER TO RECEIVE FINISHES.
- ALL DOORS SHALL BE LOCATE IN PROPOSED WALLS AS INDICATED IN THE DIAGRAM BELOW, UNLESS SHOWN OTHERWISE AT PLAN AND/OR DOOR JAMB DETAILS. THESE DIMENSIONS ARE REFERENCED AS BASIC GUIDE FOR THE CONTRACTOR, HOWEVER CERTAIN CONDITIONS SHALL VARY AND CONSTITUTE DOOR LOCATIONS ACCORDING TO THE DETAILS INDICATED ON DRAWINGS.



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DIMENSIONED FIRST FLOOR

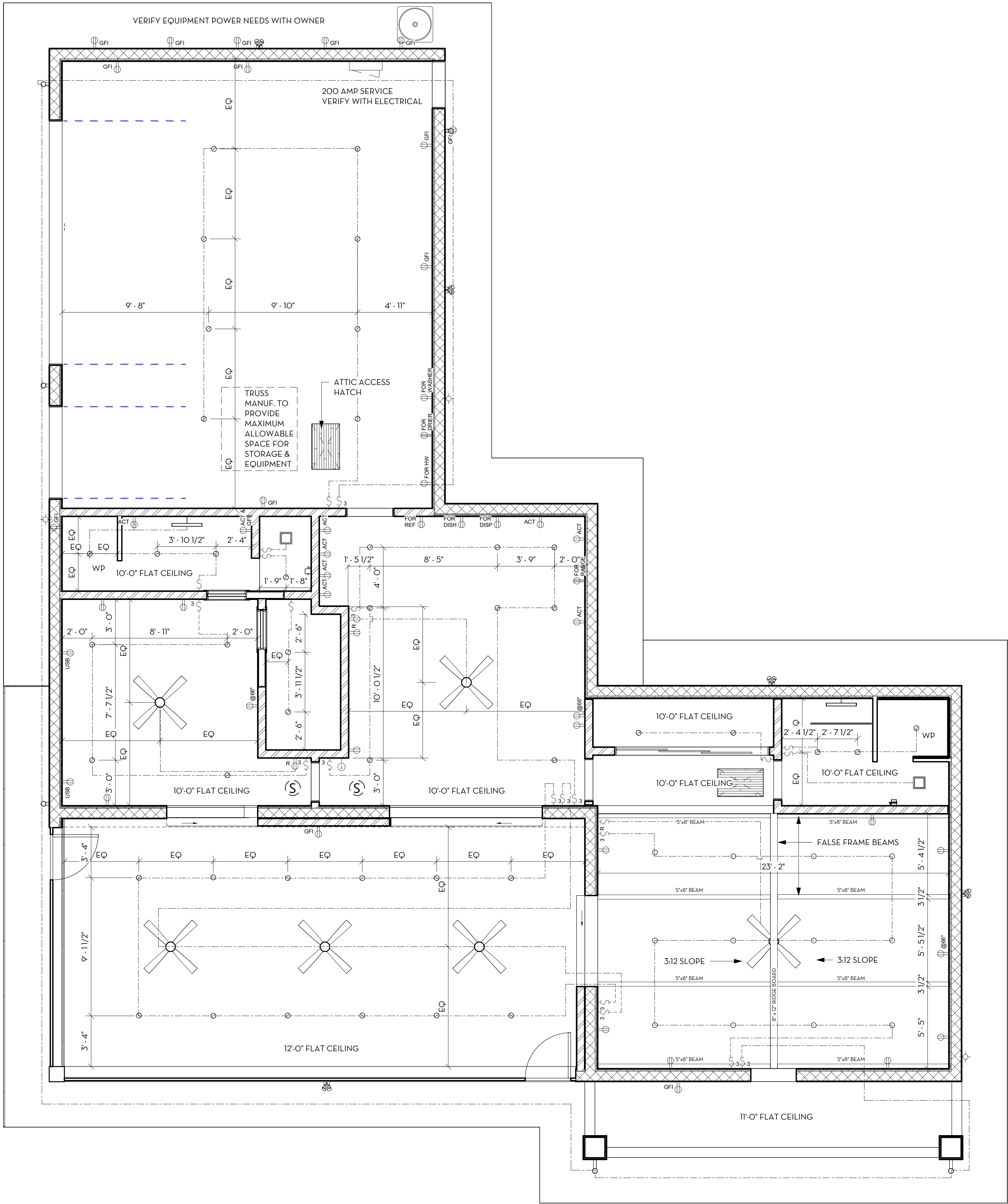
THE FISHER RESIDENCE

5721 WESTPORT LANE  
NAPLES, FLORIDA 34116

No.	REVISIONS	Date

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A1.3	
SCALE	1/4" = 1'-0"





2 REFLECTED CEILING PLAN  
1/4" = 1'-0"

ELECTRICAL/LIGHTING LEGEND			
	DUPLEX RECEPTACLE, 15A, 125V WITH ARC FAULT CIRCUITS AT ALL LIVING AREAS AS PER CODE. USE GFI AT ALL WET LOCATIONS. MOUNT HORIZONTALLY IN BASEBOARDS AND KITCHEN BACKSPLASH		4" LED RECESSED LIGHTING FIXTURE, WHITE PENDANT FIXTURE TYPES/OOF (WP) AT WET LOCATIONS
	DUPLEX GFI CONVENIENCE OUTLET (WHITE) - CENTERLINE @ 18" A.F.F. U.N.O.		PENDANT LIGHT FIXTURE.
	DUPLEX USB CONVENIENCE OUTLET (WHITE) - CENTERLINE @ 18" A.F.F. U.N.O		EXTERIOR WALL MOUNTED SCONCE FIXTURE. MANUF: DALS MODEL: LEDWALLOID-BK
	HALF HOT SINGLE AND SWITCH WALL SWITCH (WHITE)		SURFACE MOUNTED CEILING FIXTURE
	DUPLEX CONVENIENCE OUTLET (WHITE) - FOR APPLIANCE OR EQUIPMENT		LED STRIP LIGHT. AT LOCATIONS UNDER VANITY PROVIDE MOTION ACTIVATED NIGHT LIGHT
	SINGLE RECEPTACLE 20A, 220V (WHITE) - FOR APPLIANCE OR EQUIPMENT		CEILING FAN
	WALL SWITCH 3-WAY, 15-20A, 125V (WHITE)		NUTONE MODEL #QT-80 BATHROOM EXHAUST FAN
	WALL SWITCH REMOTE CEILING FAN, 15-20A, 125V (WHITE)		COMBINATION CARBON MONOXIDE/SMOKE DETECTOR AS PER CODE WITH BATTERY BACKUP. LOCATION OF CARBON MONOXIDE/SMOKE DETECTOR CANNOT BE WITHIN 3'-0" OF AIR REGISTERS, FANS OR BATHROOMS.
	TELEVISION OUTLET		ELECTRIC PANEL
	FINISHED CEILING HEIGHT ABOVE FINISHED FLOOR		PROGRAMMABLE DIGITAL THERMOSTAT, WHITE.
	SUPPLY AIR GRILLS		SECURITY/MOTION FLOOD LIGHTS
	RETURN AIR GRILLS		

ELECTRICAL GENERAL NOTES:

IMPORTANT: VERIFY ALL LOADING AND THE RESULTING DESIGN BEFORE CONSTRUCTION. THE GENERAL CONTRACTOR SHALL SUBMIT THIS DESIGN AND THE CALCULATION TO THE ELECTRICAL CONTRACTOR FOR RE-EVALUATION AND POSSIBLE RE-DESIGN (FOR LARGER SERVICE OR ADDITIONAL PANELS) AS NEEDED BEFORE COMMENCING CONSTRUCTION.

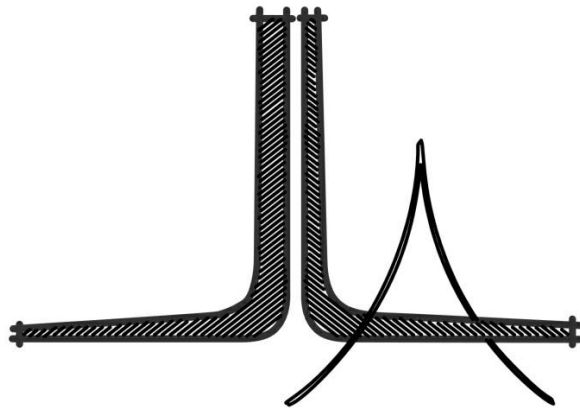
- GC TO PROVIDE RISER DIAGRAM AND IT'S INSTALLATION SHALL BE APPROVED AND COORDINATED WITH FPL (FLORIDA POWER AND LIGHT).
- ALL INSTALLATIONS SHALL USE THE MOST STRINGENT GUIDES INCLUDING THOSE SUPPLIED BY FPL.
- VERIFY ALL OUTLET HEIGHTS AND THEIR LOCATIONS INCLUDING FLOOR OUTLETS/JACKS WITH ARCHITECT AND OTHER INVOLVED DESIGN PARTIES SUCH AS THE CABINET MAKER/OWNER/DEVELOPER/GENERAL CONTRACTOR.
- CIRCUIT LOCATION AND LOAD DATA ARE BASED ON INFORMATION GATHERED FROM THE CONTRACTOR. THE ELECTRICIAN SHALL VERIFY ALL DATA BEFORE COMMENCEMENT OF WORK. INCLUDING PANEL SIZE/METER SIZE AND LOCATION/ WIRE SIZES AND ALL MECHANICAL EQUIPMENT INCLUDING POOL AND A/C.
- ALL EXTERIOR/GARAGE OUTLETS SHALL BE GFI PROTECTED. GARAGE AND EXTERIOR OUTLETS SHALL HAVE IN ADDITION TO GFI, WATERPROOF COVERS.
- HOOK UP ALL NEW DOOR AND WINDOWS TO EXISTING SECURITY SYSTEM IF APPLICABLE.
- REVIEW ALL FIXTURES WITH OWNER PRIOR TO ORDERING.
- THE ELECTRICAL DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF FIXTURES, EQUIPMENT, LAYOUT AND WORK INCLUDED IN THE CONTRACT. THE COORDINATION WITH OTHER TRADES AND COMPLIANCE WITH APPLICABLE CODES WHETHER SHOWN OR NOT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
- RECEPTACLE AND OR JUNCTION BOXES SHALL NOT BE PLACED IN BACK TO BACK CONFIGURATIONS. ALL RECESS CANS MUST BE IC RATED WITH NO BULB LARGER THAN 75 WATTS.
- ELECTRICAL CONTRACTOR SHALL COORDINATE METER, METER CENTERS, AND SWITCHGEAR LOCATIONS WITH LOCAL UTILITY COMPANY.
- ALL SWITCHES TO HAVE DIMMERS WHETHER SHOWN OR NOT - GC TO VERIFY WITH OWNER.
- ALL BATH OUTLETS ARE TO BE ON AT LEAST ONE SEPARATE 20 AMP GFI PROTECTED CIRCUIT.
- ALL KITCHEN COUNTER OUTLETS ARE TO BE ON AT LEAST (2) SEPARATE 20 AMP GFI PROTECTED CIRCUITS.
- PROVIDE TIE HANDLE FOR DISPOSAL AND DISHWASHER CIRCUIT BREAKERS (ONLY IF ONE RECEPTACLE SUPPLIES BOTH).
- ELECTRICAL CONTRACTOR SHALL VERIFY ALL HVAC EQUIPMENT LOADS PRIOR TO THE ORDERING OF ANY SWITCHGEAR AND PANELS AND COORDINATE WITH GENERAL CONTRACTOR.
- THE ELECTRICAL PLANS ARE TO BE USED AS A GUIDE FOR PLACEMENT OF ELECTRICAL APPARATUS ONLY (I.E. LIGHT FIXTURES, SWITCHES, DETECTORS, OUTLETS, PANELS, ETC.) AND DO NOT NECESSARILY REFLECT A KNOWLEDGE OF THE REQUIRED CIRCUITRY, INSTALLATION PRACTICES OR ELECTRICAL CODE REQUIREMENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THE ELECTRICAL POWER DISTRIBUTION AND LIGHTING DESIGN MEETS ALL APPLICABLE CODES.

MECHANICAL GENERAL NOTES

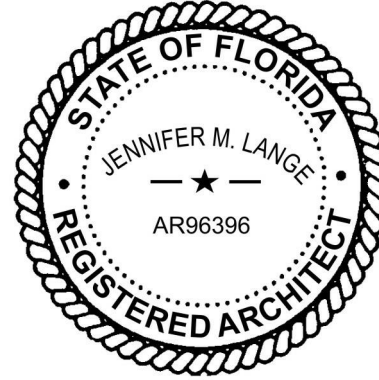
- HVAC CONTRACTOR SHALL EVALUATE PLANS FOR DUCT SPACE RUNS AND EQUIPMENT LOCATIONS BEFORE CONSTRUCTION BEGINS.
- REFLECTED CEILING PLAN WITH DIFFUSER LOCATIONS TO BE SUBMITTED TO ARCHITECT & OWNER FOR APPROVAL PRIOR TO BEGINNING OF WORK.
- OBTAIN SEPARATE PERMITS FOR MECHANICAL WORK IF REQUIRED BY AUTHORITIES HAVING JURISDICTION
- COORDINATE THE LOCATION OF ALL CEILING MOUNTED AIR DISTRIBUTION DEVICES WITH CEILING WORK AND WORK OF ALL OTHER TRADES.
- ALL EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURERS SPECS AND RECOMMENDATION.

CEILING FINISHES

CEILINGS EXPOSED TO WIND TO BE 5/8" EXTERIOR GRADE DRYWALL. PROVIDE 2X4 BLOCKING WITH (2) 10D NAILS EACH END LOCATED AT PERIMETER OF CEILING AREA AND ON 4'X12" MAXIMUM GRID TO BLOCK EDGES OF DRYWALL SHEETS. DRYWALL MUST BE BLOCKED AT ALL EDGES. ATTACH DRYWALL TO TRUSS CHORDS AND BLOCKING WITH 6D COOLER NAILS X 1-7/8" X OR 11-1/2" DRYWALL SCREWS AT 6" O.C. EDGES AND FIELD.



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POWER AND LIGHTING PLAN

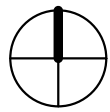
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SCALE 1/4" = 1'-0"



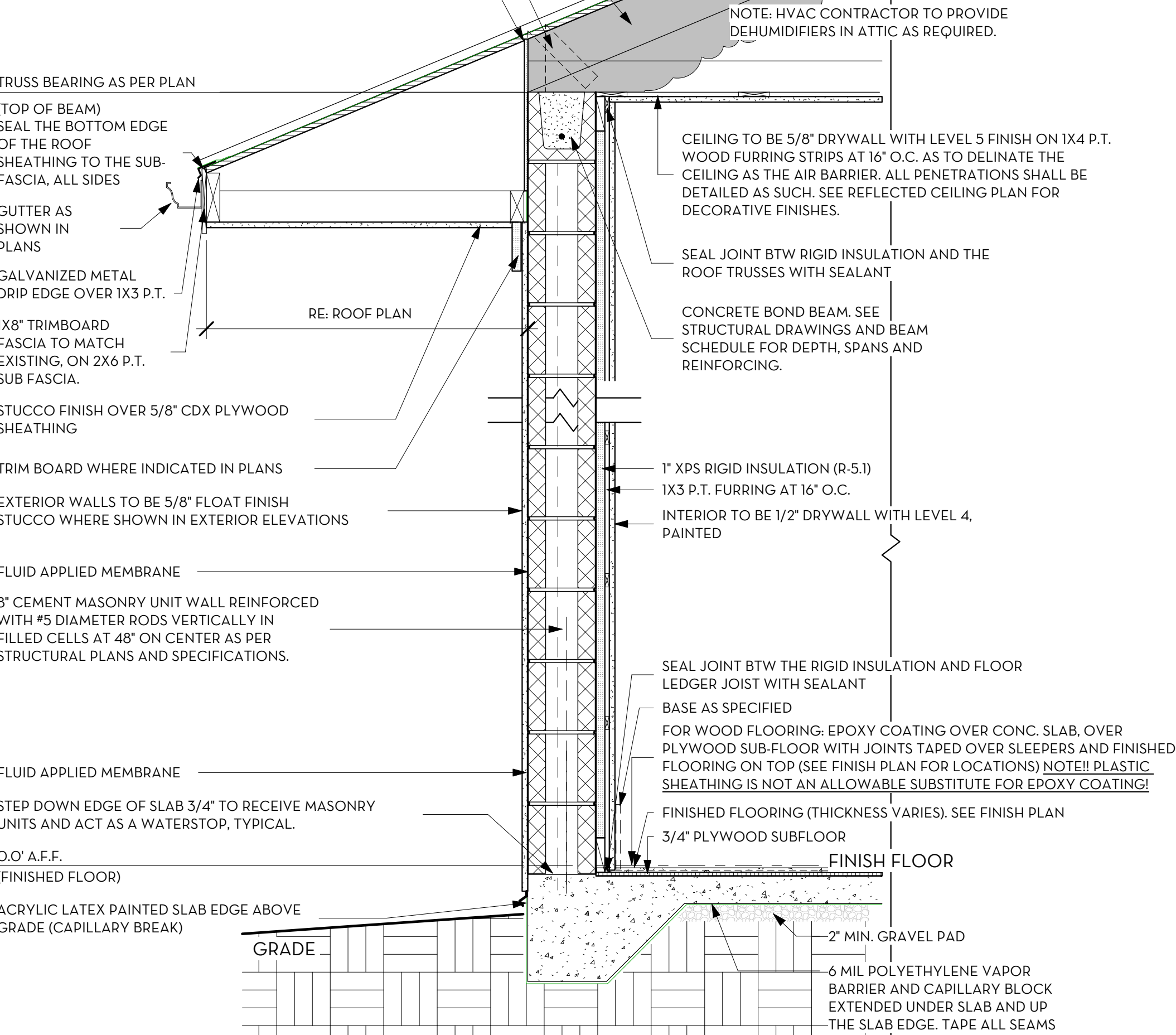




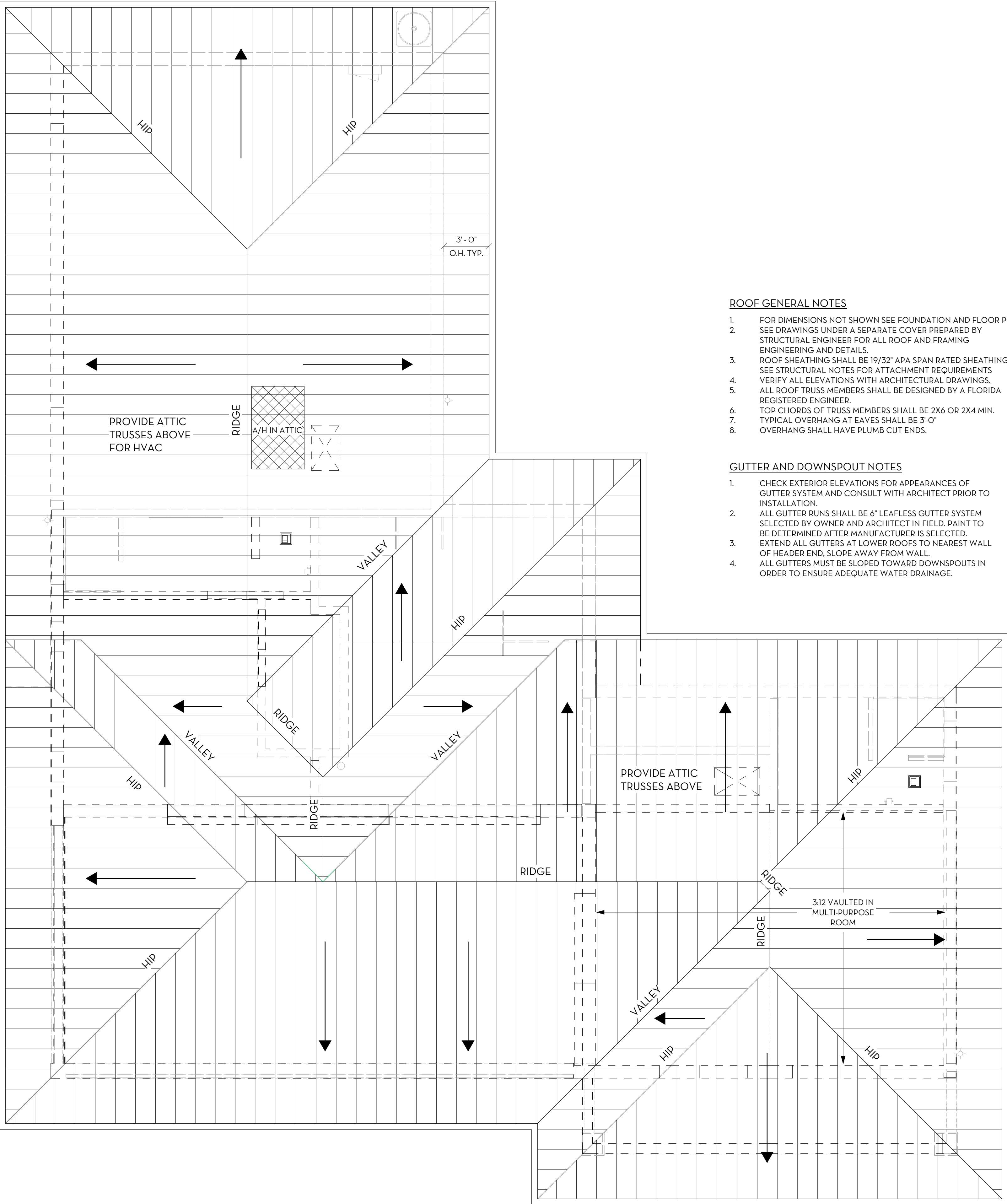
STANDING SEAM METAL ROOF ON HIGH PERFORMANCE SELF-ADHERED MEMBRANE ROOFING UNDERLAYMENT ON 5/8" STRUCTURAL WOOD PANEL SHEATHING W/ BUILT-IN PROTECTIVE BARRIERS. INSTALLED PER MANUF. RECOMMENDATIONS.

PRE-ENGINEERED WOOD TRUSSES @ 24" O.C. MAX. BRACED AS REQ'D.  
ICYNENE SPRAY FOAM INSULATION OR APPROVED EQUAL  
GALVANIZED METAL HURRICANE STRAP TO EACH TRUSS, SEE STRUCTURAL DWGS.

SEAL JOINT BTW THE BOTTOM OF THE ROOF DECK, AROUND RAFTERS AND THE WALL AIR BARRIER SHEATHING WITH SEALANT OR SELF-ADHERED MEMBRANE. (SEE PHOTO ABOVE)

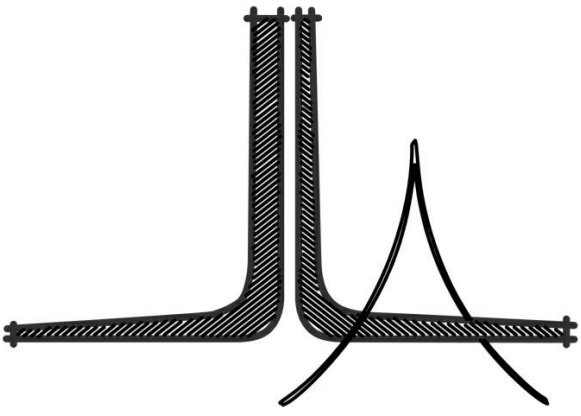


- NOTE:
1. ALL CONCRETE TO BE 2500 PSI (MINIMUM)
  2. ALL FOOTINGS TO BEAR ON COMPACTED FILL - PROVIDING 2000 PSI SOIL BEARING (MINIMUM)

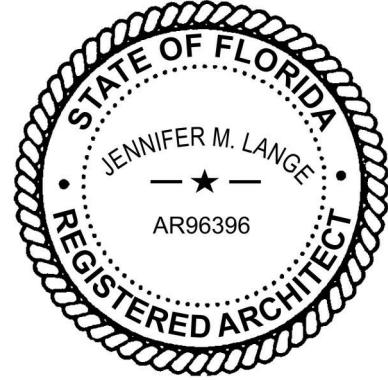


- ROOF GENERAL NOTES**
1. FOR DIMENSIONS NOT SHOWN SEE FOUNDATION AND FLOOR PLAN
  2. SEE DRAWINGS UNDER A SEPARATE COVER PREPARED BY STRUCTURAL ENGINEER FOR ALL ROOF AND FRAMING ENGINEERING AND DETAILS.
  3. ROOF SHEATHING SHALL BE 19/32" APA SPAN RATED SHEATHING. SEE STRUCTURAL NOTES FOR ATTACHMENT REQUIREMENTS
  4. VERIFY ALL ELEVATIONS WITH ARCHITECTURAL DRAWINGS.
  5. ALL ROOF TRUSS MEMBERS SHALL BE DESIGNED BY A FLORIDA REGISTERED ENGINEER.
  6. TOP CHORDS OF TRUSS MEMBERS SHALL BE 2X6 OR 2X4 MIN.
  7. TYPICAL OVERHANG AT EAVES SHALL BE 3'-0"
  8. OVERHANG SHALL HAVE PLUMB CUT ENDS.

- GUTTER AND DOWNSPOUT NOTES**
1. CHECK EXTERIOR ELEVATIONS FOR APPEARANCES OF GUTTER SYSTEM AND CONSULT WITH ARCHITECT PRIOR TO INSTALLATION.
  2. ALL GUTTER RUNS SHALL BE 6" LEAFLESS GUTTER SYSTEM SELECTED BY OWNER AND ARCHITECT IN FIELD. PAINT TO BE DETERMINED AFTER MANUFACTURER IS SELECTED.
  3. EXTEND ALL GUTTERS AT LOWER ROOFS TO NEAREST WALL OF HEADER END, SLOPE AWAY FROM WALL.
  4. ALL GUTTERS MUST BE SLOPED TOWARD DOWNSPOUTS IN ORDER TO ENSURE ADEQUATE WATER DRAINAGE.



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ROOF PLAN

**THE FISHER RESIDENCE**

5721 WESTPORT LANE  
NAPLES, FLORIDA 34116

No.	REVISIONS	Date

PROJECT NUMBER	2113
DATE	2022.03.08
DRAWN BY	JML
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**A1.5**

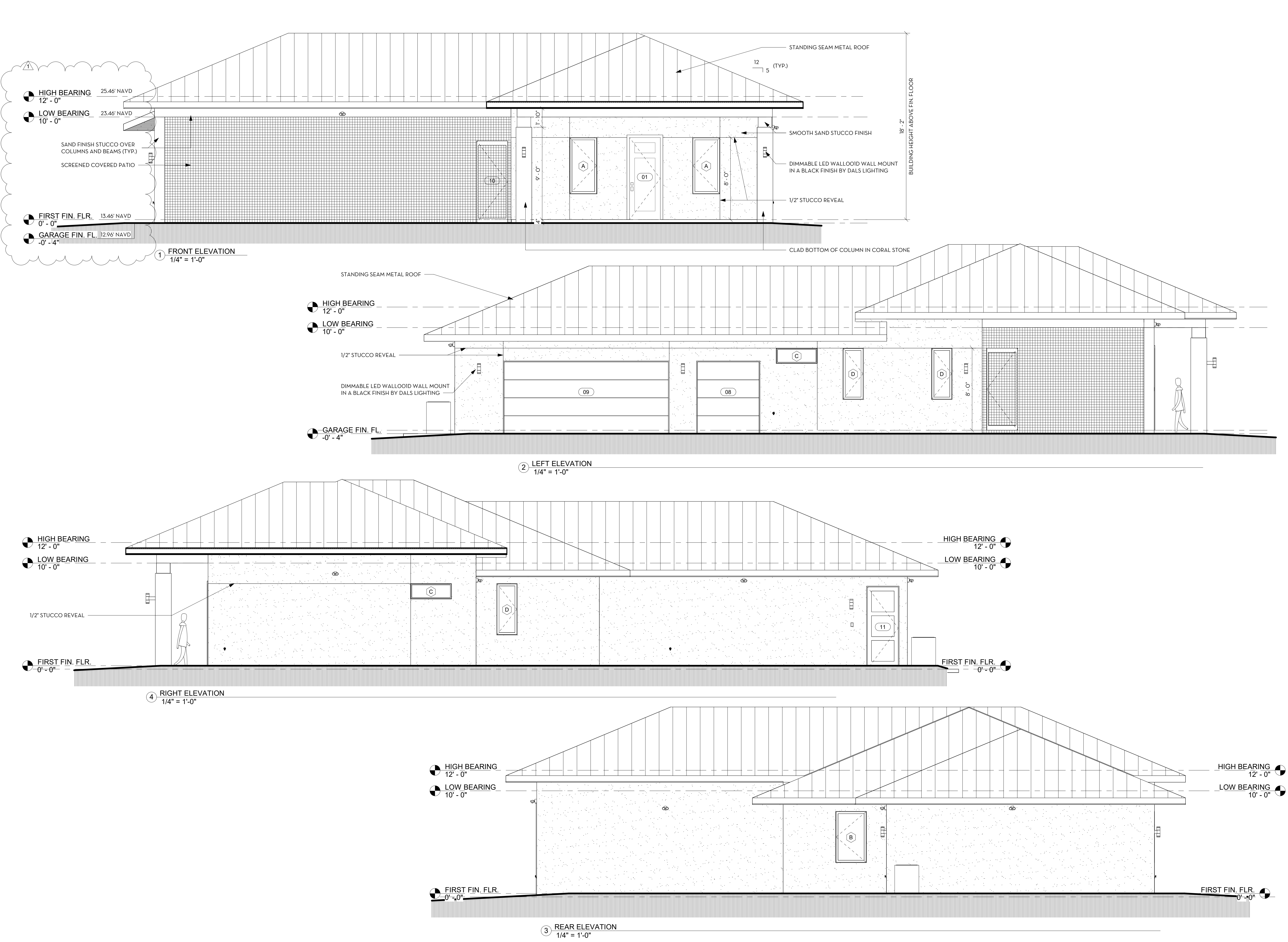
SCALE As indicated

2 TYP. EXT. WALL SECTION- UNVENTED  
1" = 1'-0"

1 ROOF PLAN  
1/4" = 1'-0"







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EXTERIOR ELEVATIONS

**THE FISHER RESIDENCE**

5721 WESTPORT LANE  
NAPLES, FLORIDA 34116

No.	REVISIONS	Date
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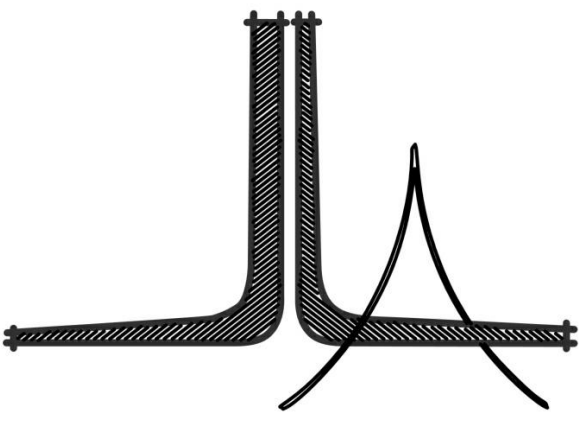
PROJECT NUMBER	2113
DATE	2022.03.08
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CHECKED BY	JML

**A2.0**

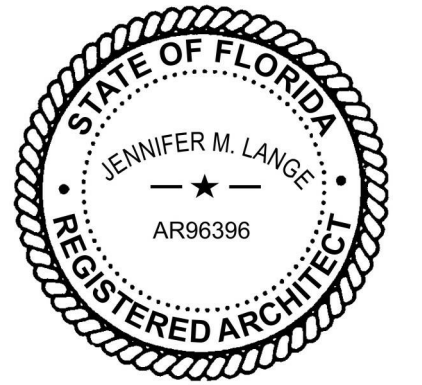
SCALE 1/4" = 1'-0"

8/18/2022 3:27:05 PM





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BUILDING SECTIONS

THE FISHER RESIDENCE

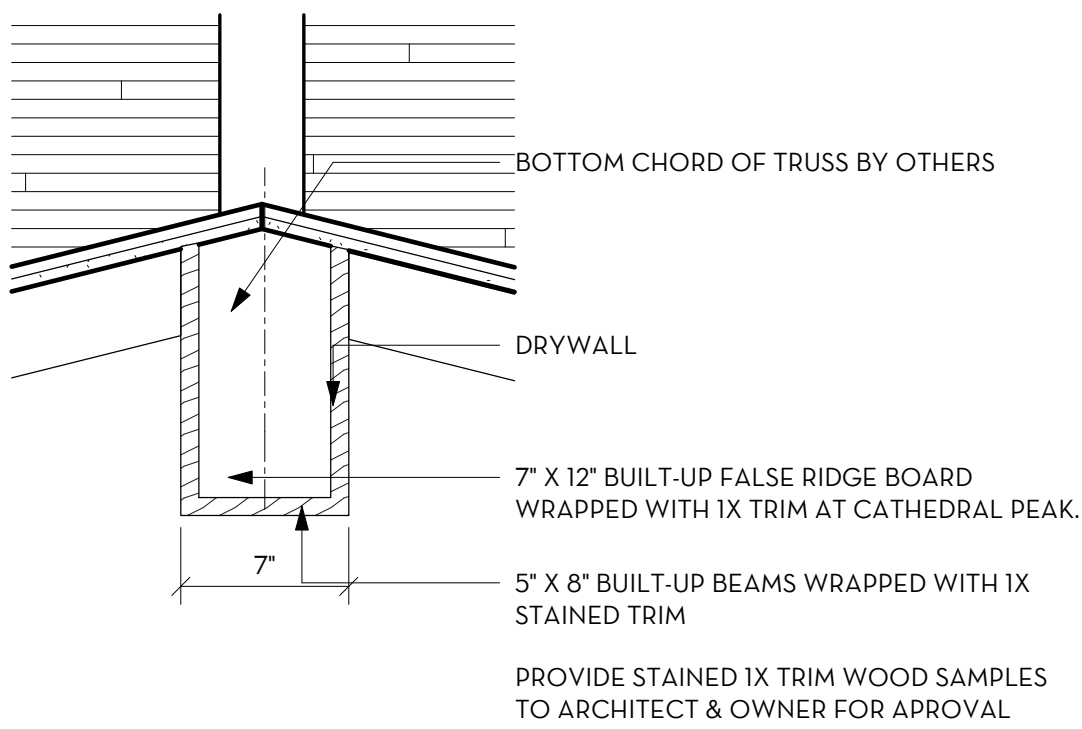
5721 WESTPORT LANE  
NAPLES, FLORIDA 34116

No.	REVISIONS	Date
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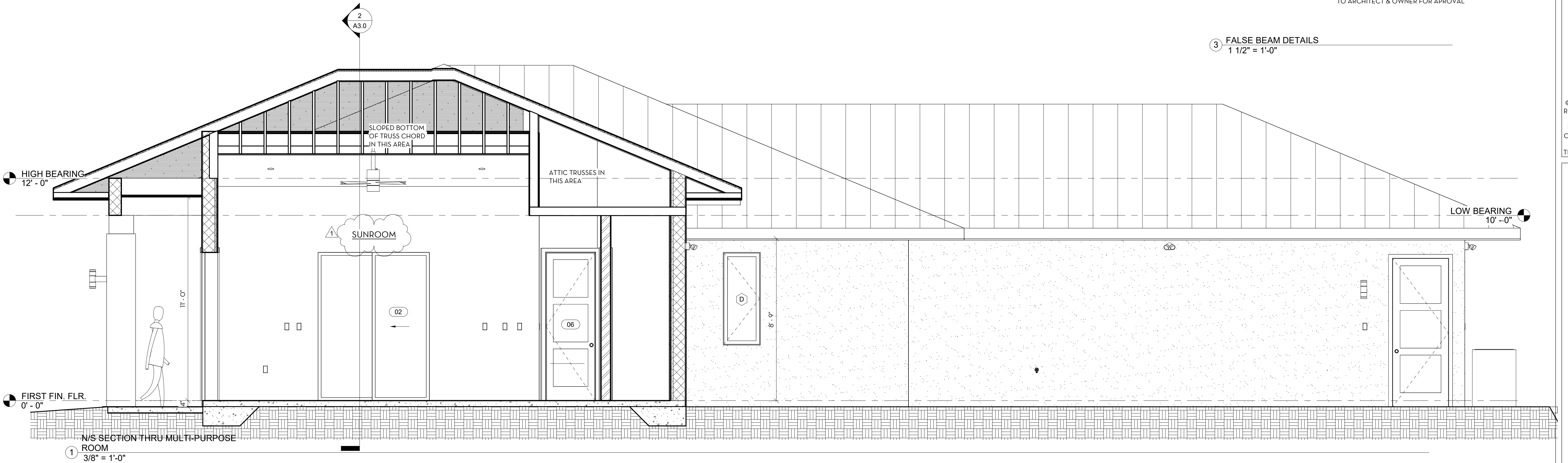
PROJECT NUMBER	2113
DATE	2022.03.08
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A3.0

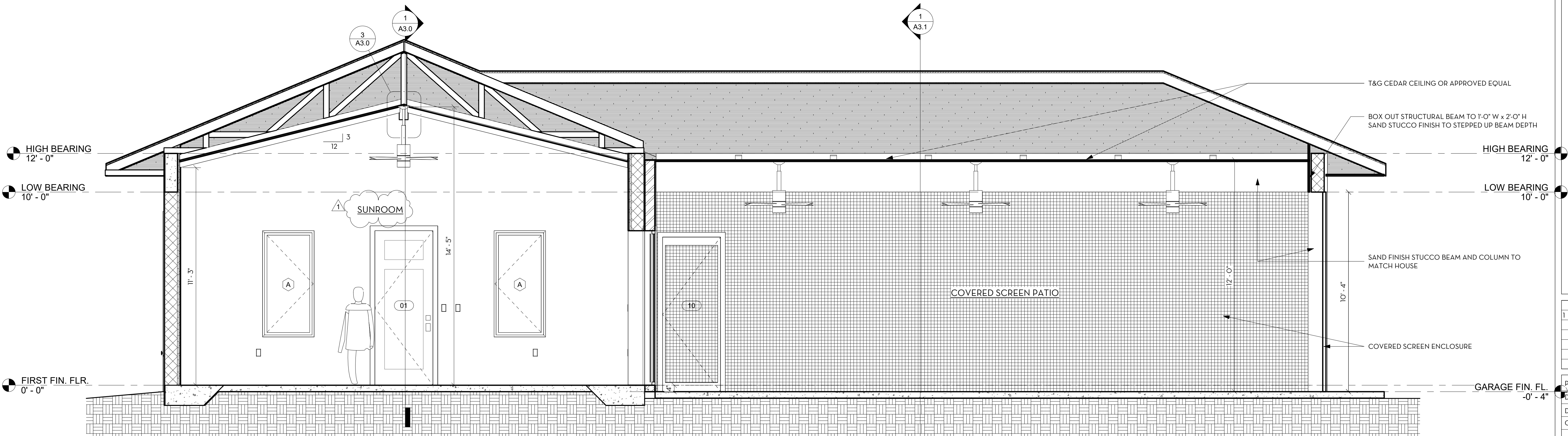
SCALE As indicated



3 FALSE BEAM DETAILS  
1 1/2" = 1'-0"

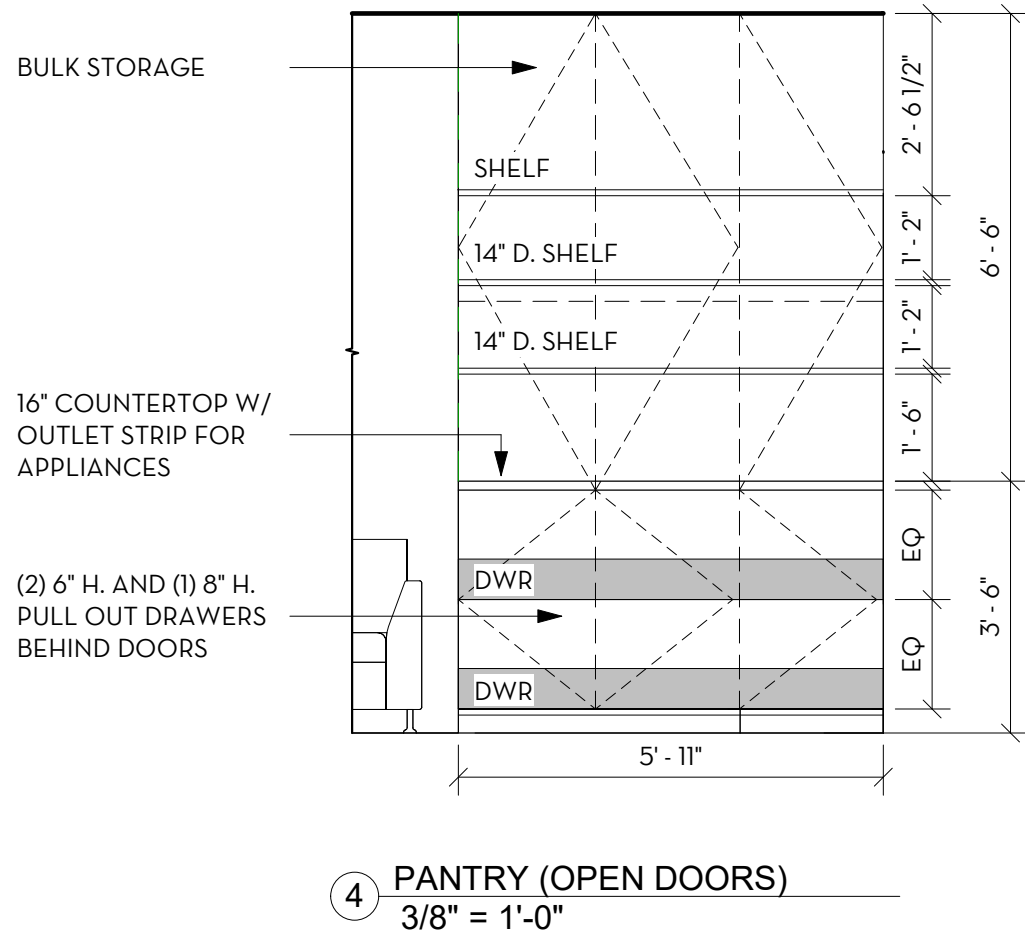
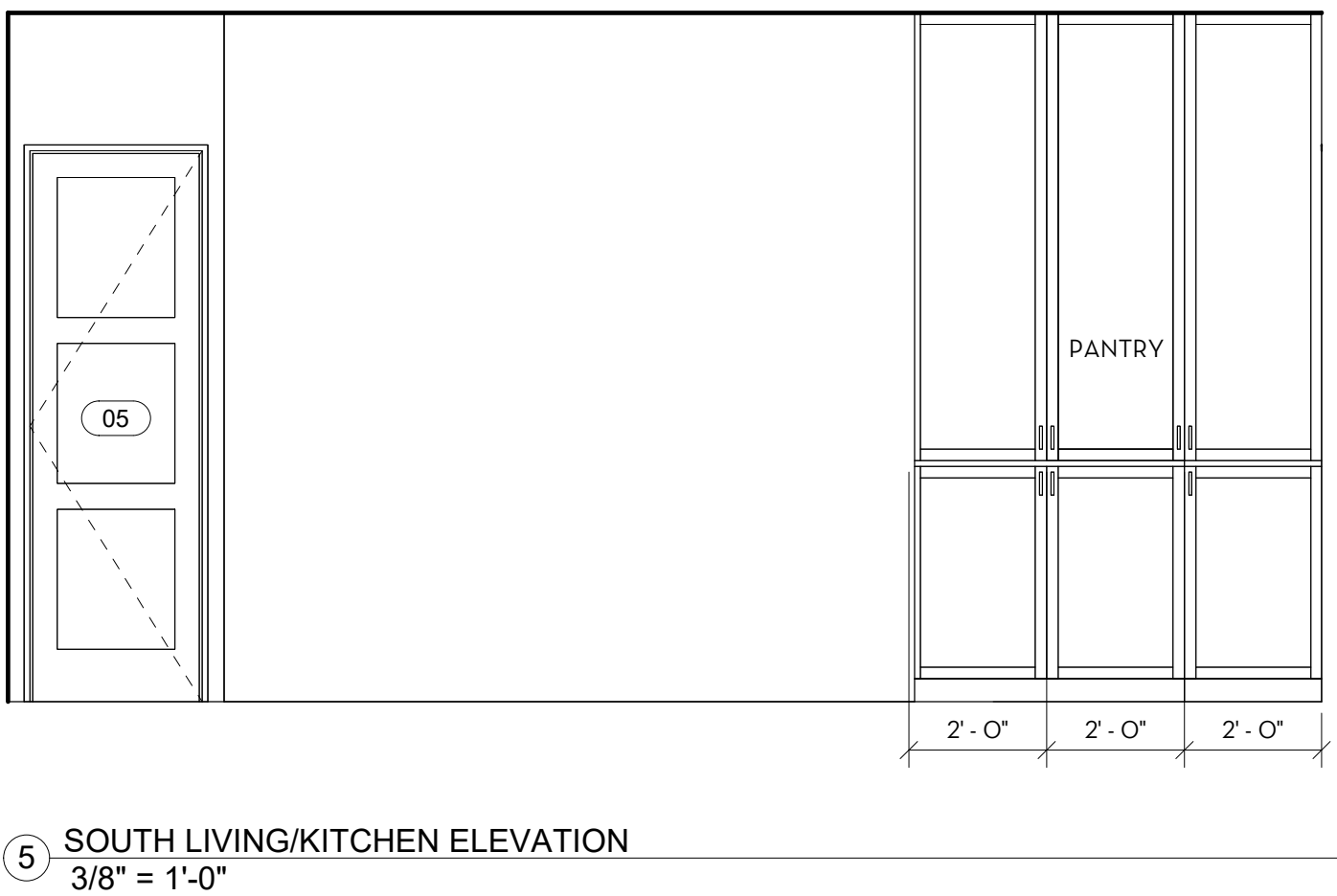
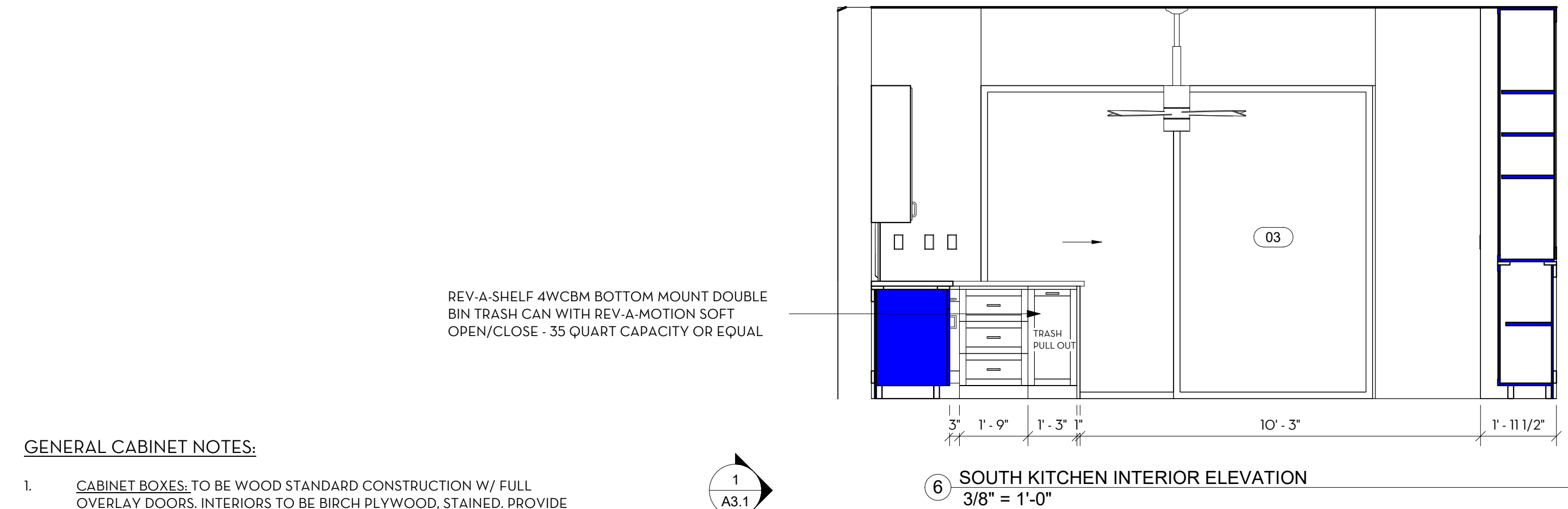
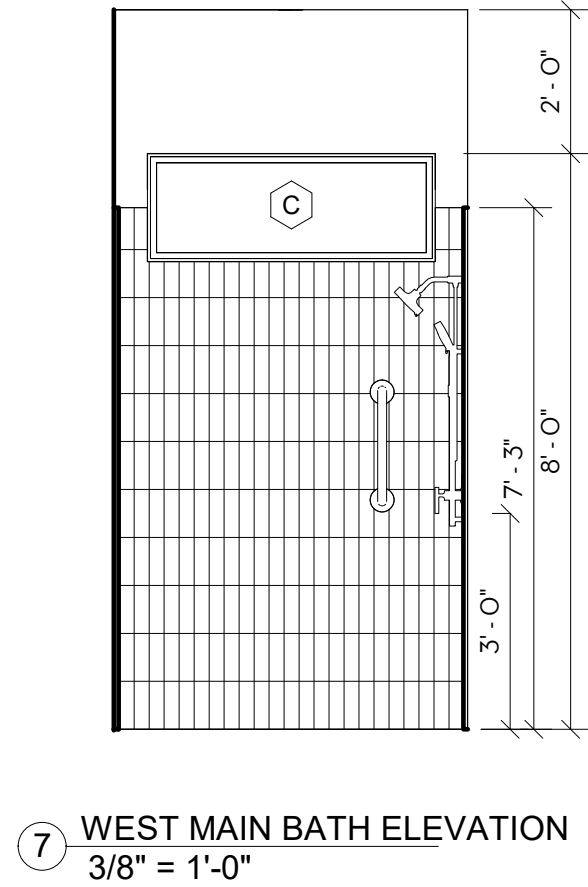
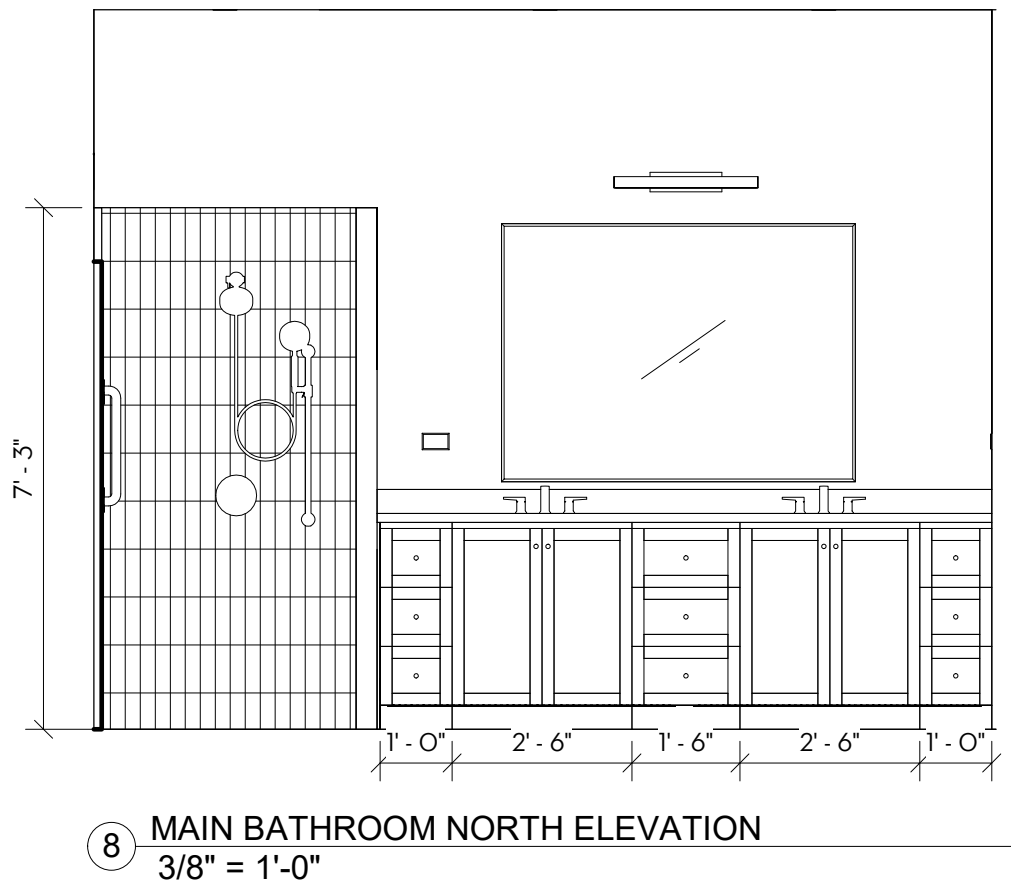
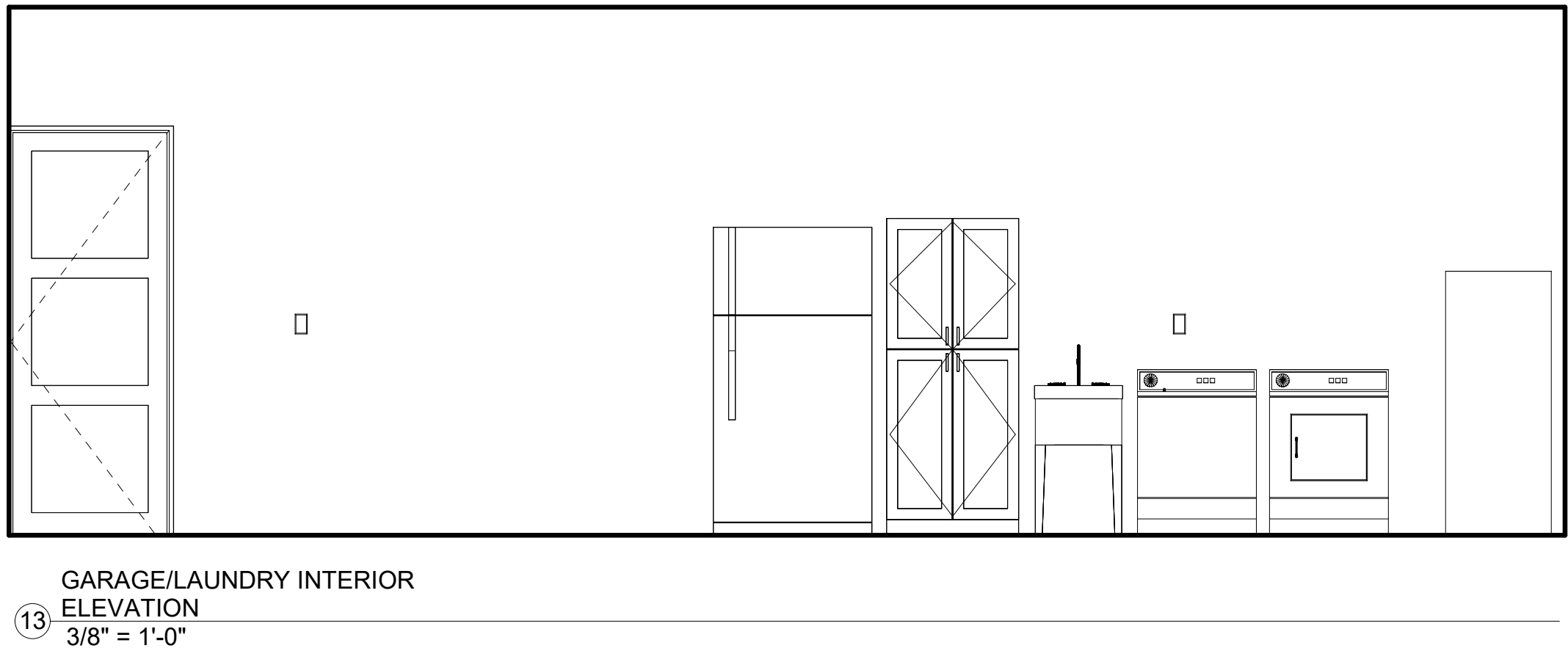
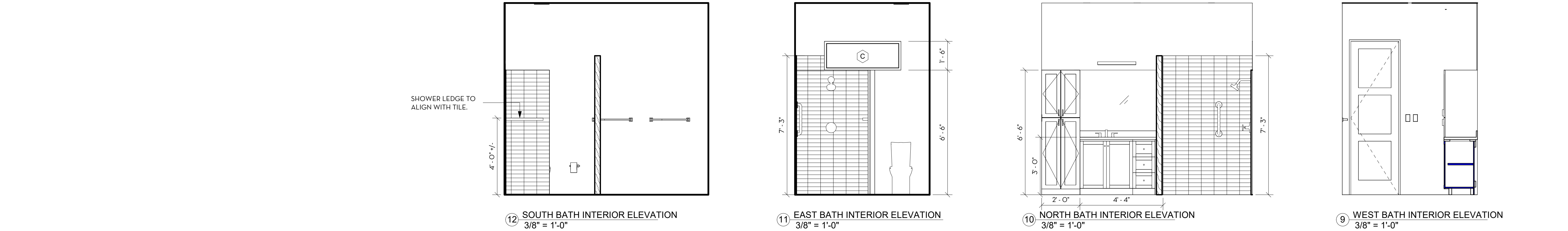


1 N/S SECTION THRU MULTI-PURPOSE ROOM  
3/8" = 1'-0"



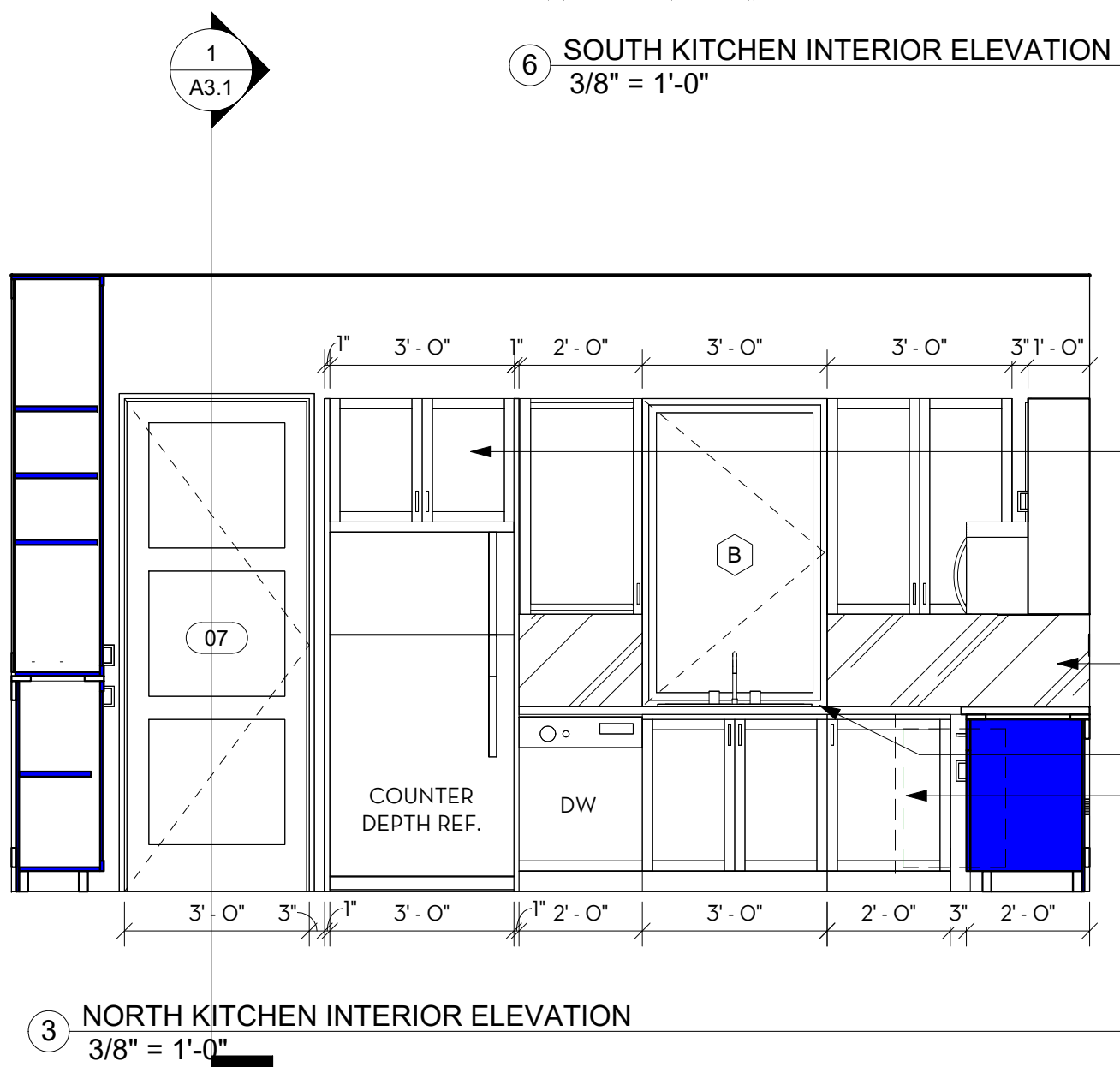
2 E/W SECTION THRU PATIO & MULTI-PURPOSE ROOM  
3/8" = 1'-0"



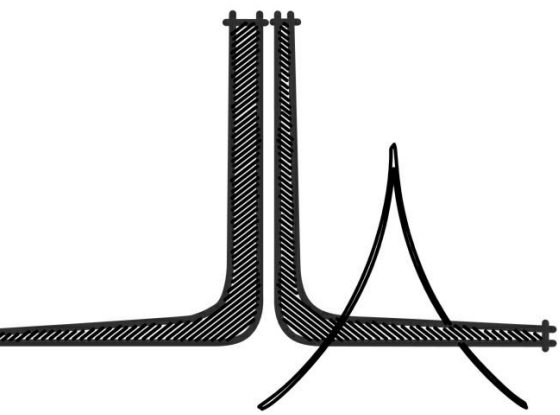
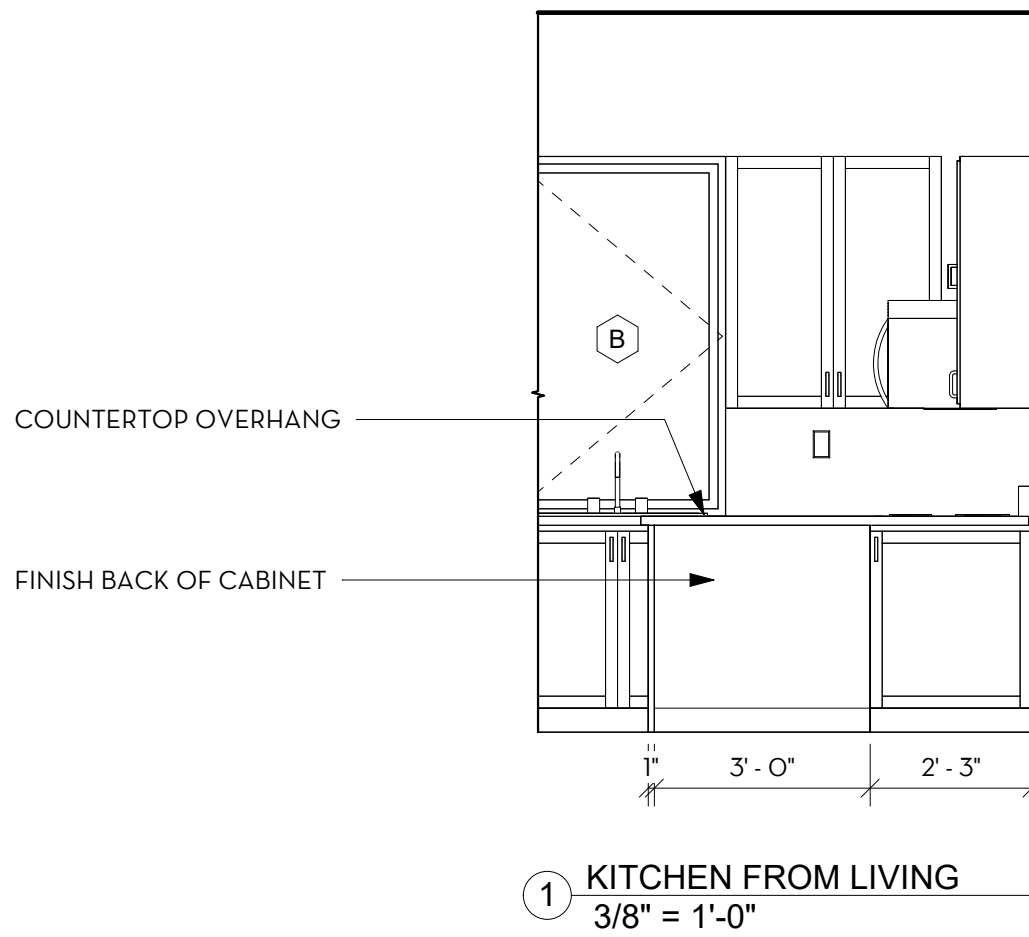
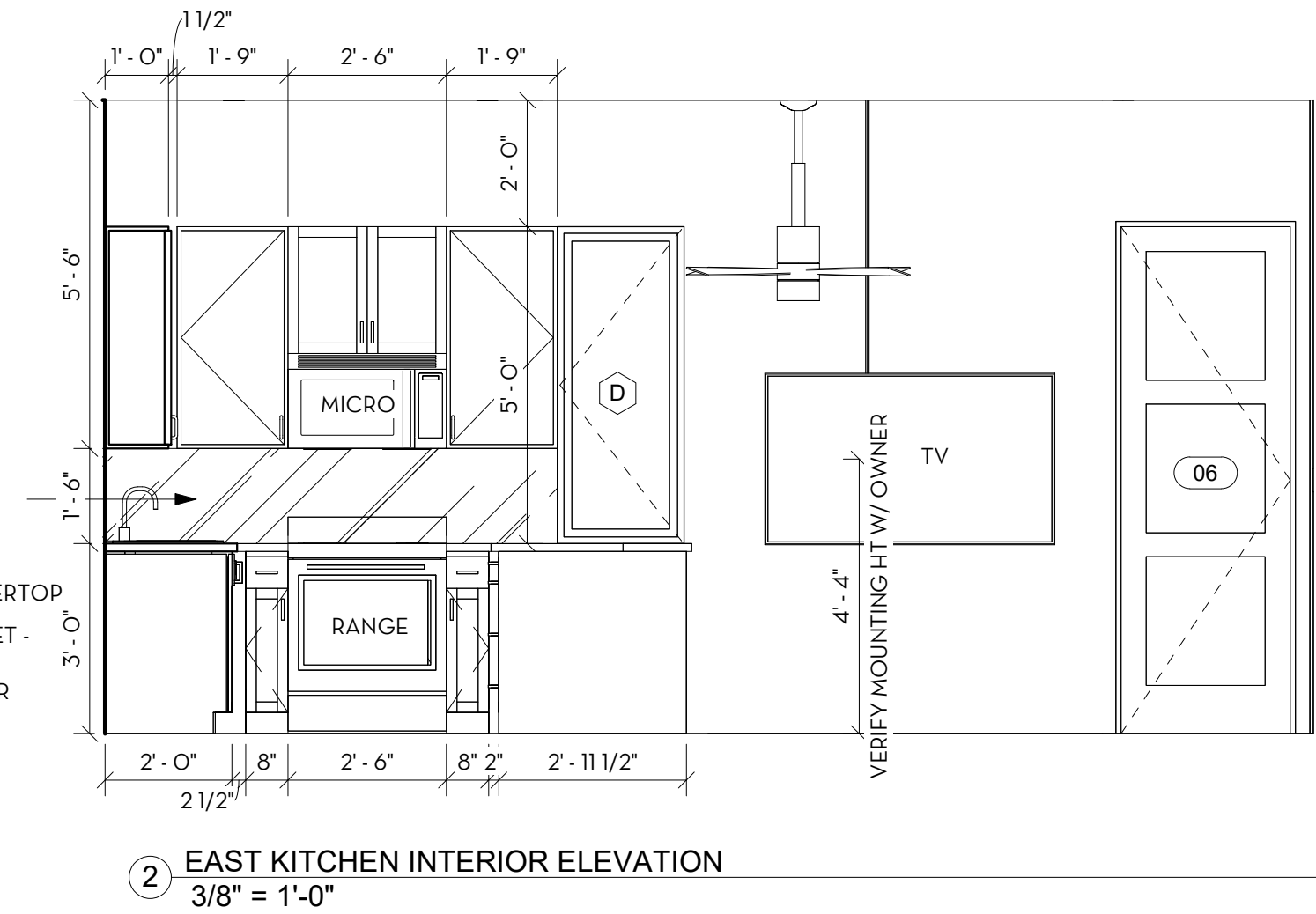


GENERAL CABINET NOTES:

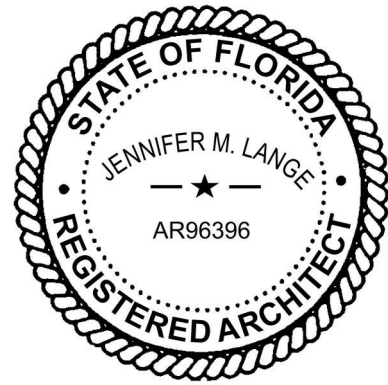
- CABINET BOXES: TO BE WOOD STANDARD CONSTRUCTION W/ FULL OVERLAY DOORS. INTERIORS TO BE BIRCH PLYWOOD, STAINED. PROVIDE ADJUSTABLE SHELVES INSIDE CABINETS AS SHOWN. (3) TYP. AT UPPERS 42" HIGH. EXPOSED END PANELS TO BE 24-3/4" DEEP TO BE FLUSH W/ OVERLAY DOORS.
- CABINET DOORS/DRAWERS: TO BE SQUARE RECESS paneled "SHAKER STYLE" W/ SQUARE STICKING AS REQUIRED. DOOR/DRAWER RAILS AND STILES TO BE 3-1/2" WIDE EXCEPT AS SHOWN ON DRAWINGS AND ON DRAWERS 6" DEEP OR LESS.
- CABINET HARDWARE: PROVIDE EUROPEAN HINGES AT DOOR; FULL EXTENSION, SHELF CLOSING SLIDES AT DRAWERS; 5" PULLS OR KNOBS AT LOCATIONS SHOWN ON DRAWINGS. OWNER/ARCHITECT TO SELECT EXPOSED HARDWARE WITH CABINETMAKERS GUIDANCE.
- CABINET TRIM: SHALL INCLUDE 3-4"H. X 1/2" D STICK MOULD UNDER ALL TOPS, 3/4" SQUARE TRIM AT THE BOTTOM OF ALL WALL CABINETS (COORDINATE UNDER CABINET LIGHTING WITH OWNER/ARCHITECT) - PROVIDE MOTION ACTIVATED LED STRIP LIGHTING AT ALL VANITY TOE-KICKS AS NIGHT LIGHTING)
- CABINET FINISHES: TBD PROVIDE SAMPLE DOORS FOR APPROVAL BEFORE FINISHING BEGINS.
- COUNTERTOPS: 3/4" QUARTZ COUNTERTOP W/ EASED EDGE IN COLOR SELECTED BY OWNER. ALLOW 1-1/2" OVERHANG ON ALL COUNTERTOPS W/ A STANDARD DETAIL OF A 3/4" D X 1-1/2" H SQUARE TRIM DIRECTLY UNDER EXCEPT AS NOTED ON DRAWINGS.
- BACKSLASHES: AT KITCHEN BACKSPLASH TO SHALL BE CERAMIC TILE AS SELECTED BY OWNER. ALL OTHER AREAS THERE SHALL BE 4" HIGH BACKSPLASH OUT OF COUNTERTOP MATERIAL.
- SHOP DRAWINGS: FOR ALL CABINETRY TO BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO THE START OF CABINET CONSTRUCTION.



- FULL DEPTH ABOVE REFRIGERATOR CABINETS. PROVIDE PULL OUT SHELF FOR PAN STORAGE
- COUNTERTOP MATERIAL TO EXTEND TO UNDERSIDE OF UPPER WALL CABINETS
- WINDOW SILL TO ALIGN WITH COUNTERTOP
- PULL OUT BLIND CORNER BASE CABINET - HAFELE "LEMANS II" CORNER CABINET LAZY SUSAN FOR USE IN BLIND CORNER CABINETS HA-541.32161 OR EQUAL



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INTERIOR ELEVATIONS

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SCALE	3/8" = 1'-0"

A4.0