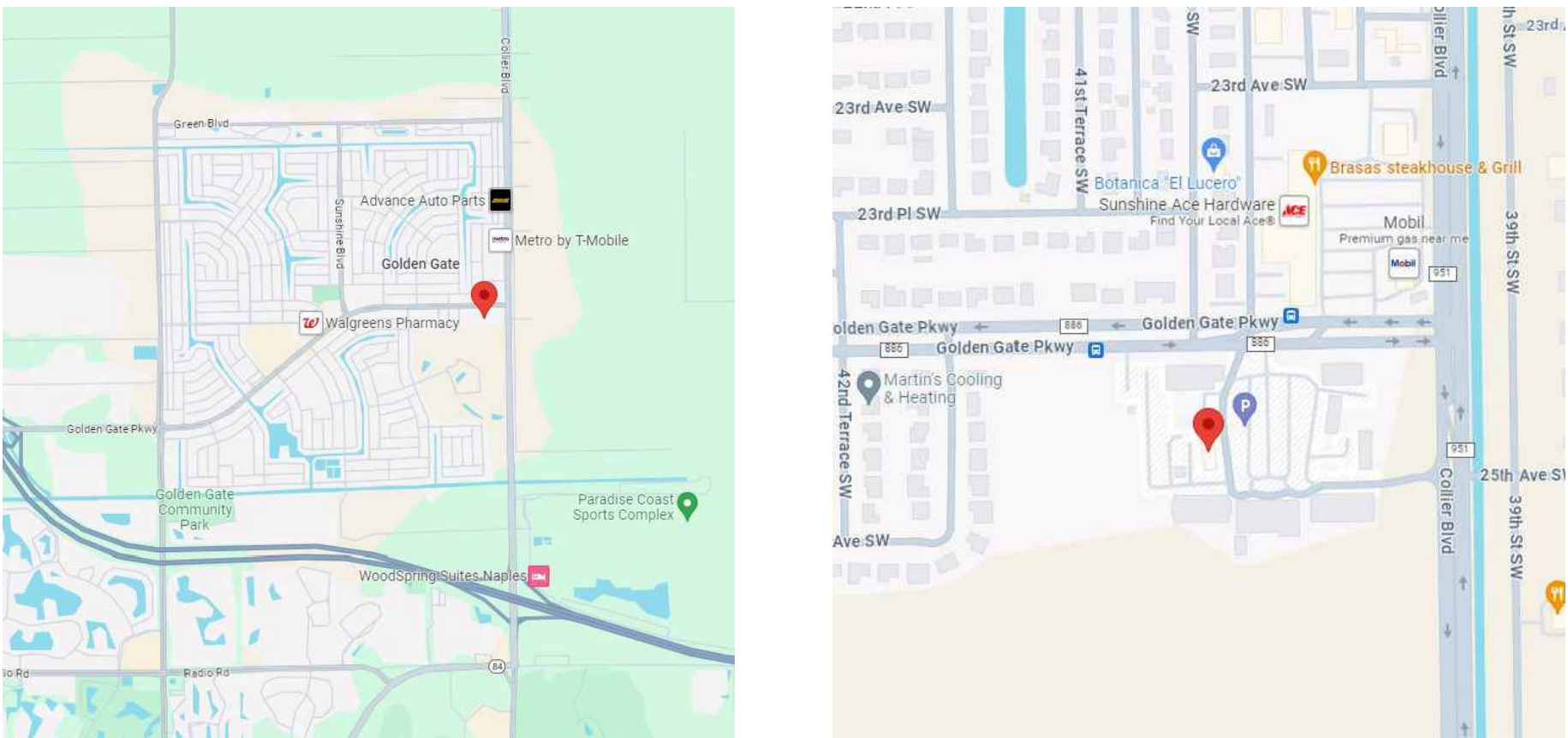


THE TEALE - NAPLES
BUILDING B F L O O R I D A

LOCATION MAPS



OWNER

STYX HOLDING DEVELOPMENT, LLC RYAN HYLER
1276 ASSEMBLY STREET,
COLUMBIA, SC 20201
P: 843.665.1192

ARCHITECT

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P / M / E

VP ENGINEERING DINO M. PAPPAS, P.E.
2108 SOUTH BLVD UNIT 112,
CHARLOTTE, NC 28203
P: 704.372.7755



PROJECT DESCRIPTION

THIS PROJECT IS CHANGE OF USE AND LEVEL 2 ALTERATION TO AN EXISTING FOUR-STORY TYPE 3B RESIDENTIAL GROUP R1 HOTEL BUILDING WITH A FIRST OCCUPANCY OF 1989 TO CREATE PRIVATE RESIDENTIAL GROUP R2 WORKFORCE MULTIFAMILY APARTMENT HOUSING WITH ENCLOSED AND UNENCLOSED AMENITY AREAS RESTRICTED TO USE BY RESIDENTS AND RESIDENT GUESTS USING FEBC PERFORMANCE COMPLIANCE METHOD. THERE IS ARE NO PROPOSED CHANGES TO THE EXISTING BUILDING STRUCTURAL SYSTEM, FOOTPRINT, FIRE AREA, MEANS OF EGRESS, EXIT ACCESS, EGRESS COMPONENTS, OR ELEVATOR. THIS PROJECT DOES NOT INCREASE EXISTING BUILDING HORIZONTAL OR VERTICAL FIRE SEPARATION REQUIREMENTS.

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P100	PLUMBING NOTES, INDEX & LEGEND
P101	PLUMBING SCHEDULES
P102	FIRE PROTECTION NOTES



THE TEALE - GOLDEN GATE
BUILDING A
4110 GOLDEN GATE PKWY
NAPLES, FL

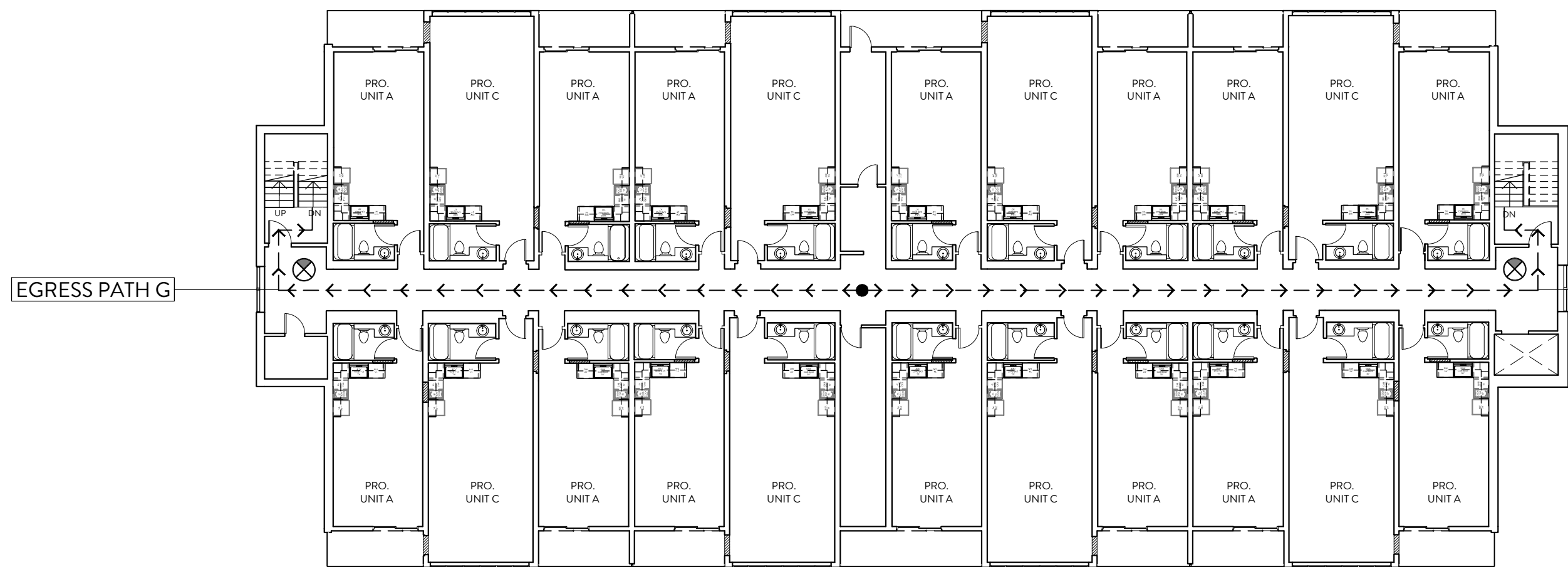
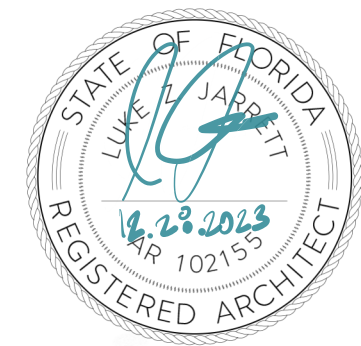
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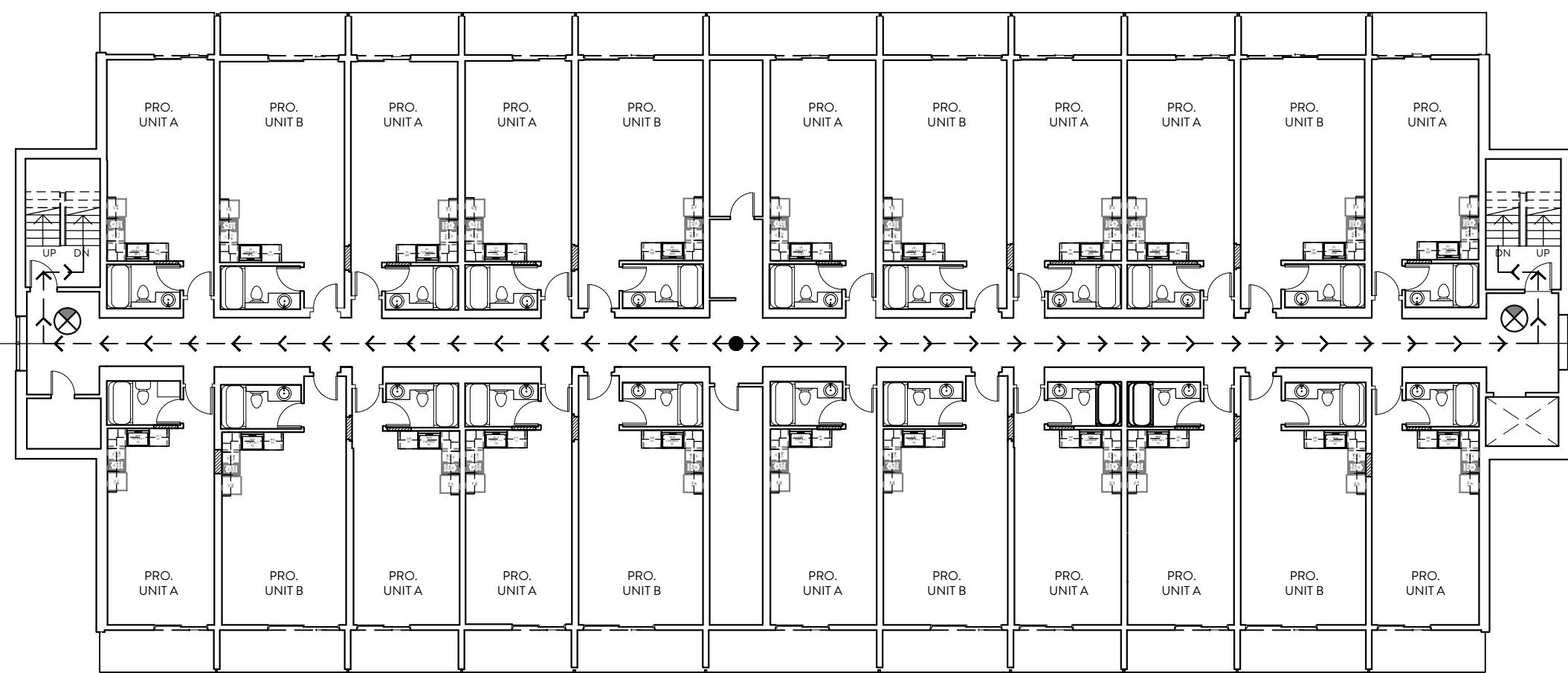
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A-000

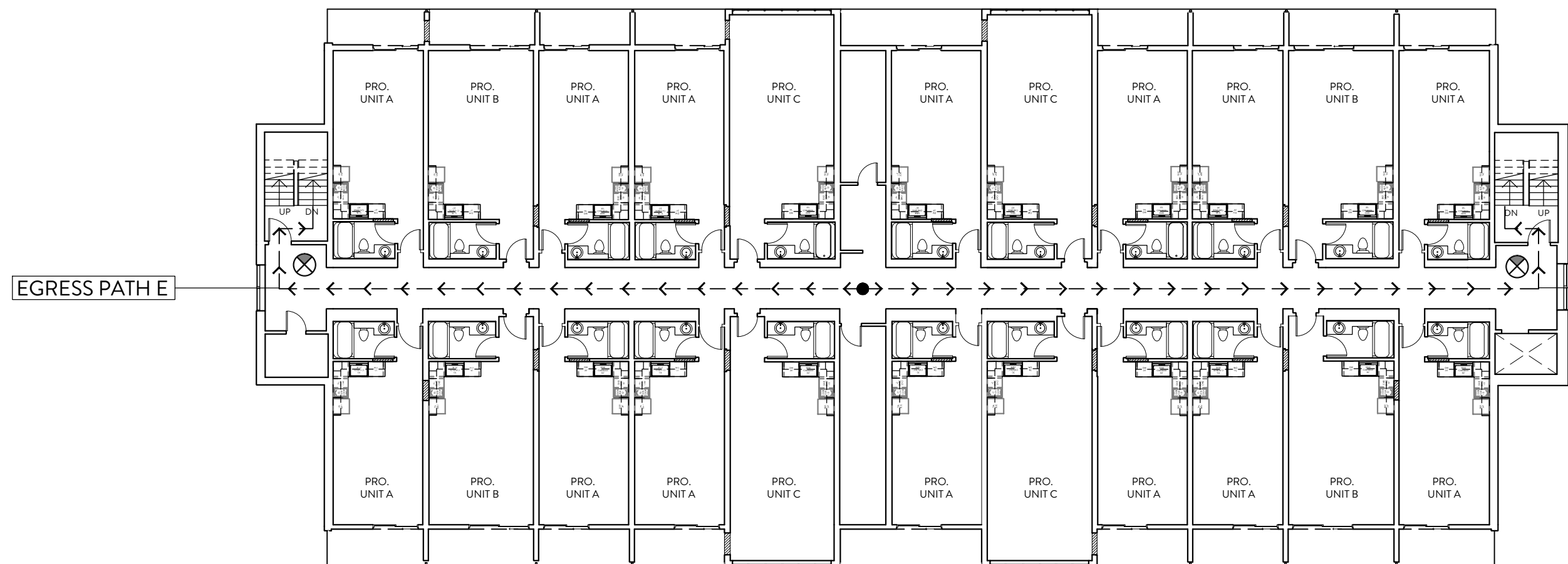
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DATE: 12.28.2023
RE: PERMIT SET



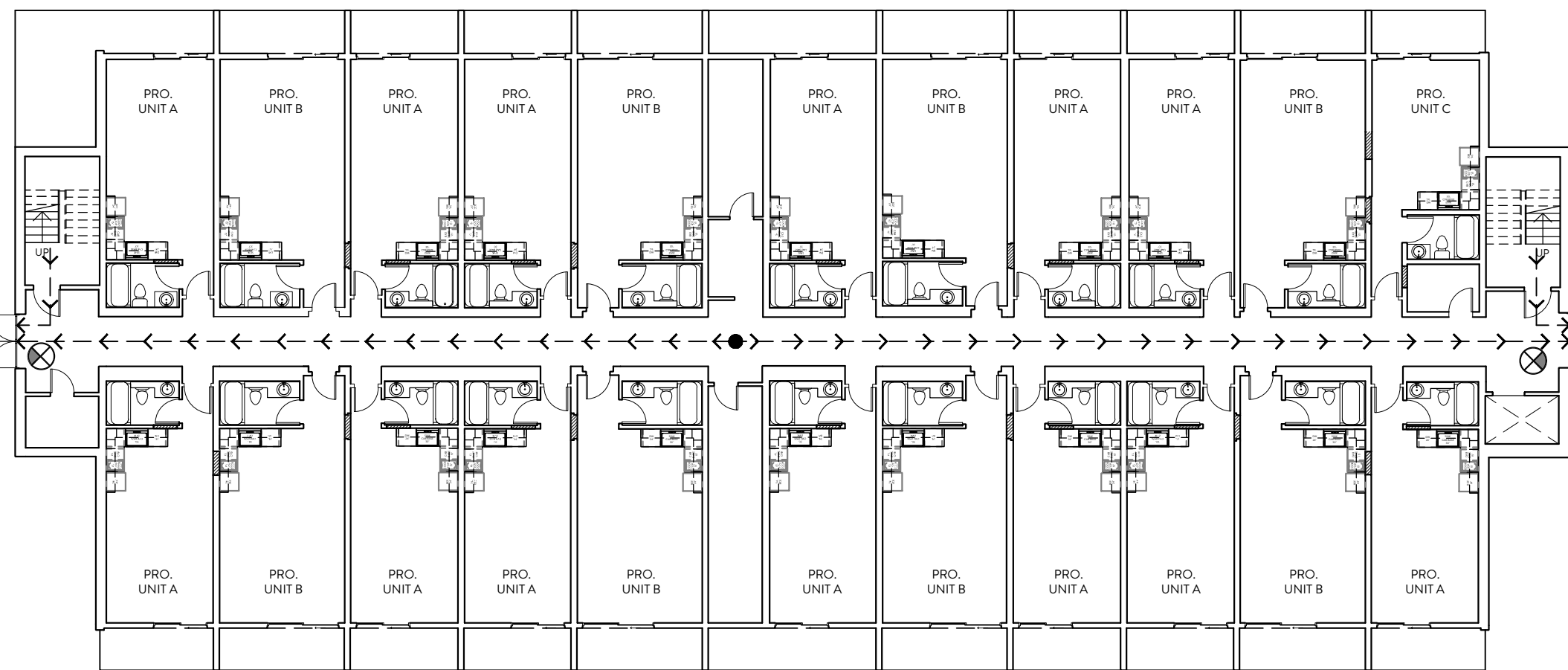
4 4TH FLOOR LIFE SAFETY PLAN
SCALE: NTS



2 2ND FLOOR LIFE SAFETY PLAN
SCALE: NTS



3 3RD FLOOR LIFE SAFETY PLAN
SCALE: NTS



1 1ST FLOOR LIFE SAFETY PLAN
SCALE: NTS

K. NOTES:

- MEANS OF EGRESS INCLUDING THE EXIT DISCHARGE SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED PER 1008.2
- EMERGENCY ILLUMINATION IS REQUIRED TO BE ON THE SAME CIRCUIT AS THE GENERAL ILLUMINATION PER NEC 700.12(F)
- EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE EXTERIOR LANDINGS FOR EACH EXIT DISCHARGE DOORWAY PER 1008.3.2 & 1010.1.6
- THE EMERGENCY LIGHTING SHALL BE DESIGNED AND INSTALLED SUCH THAT A FAILURE OF ANY INDIVIDUAL LIGHTING ELEMENT CANNOT LEAVE ANY SPACE REQUIRING EMERGENCY LIGHTING IN TOTAL DARKNESS PER NEC 700.16
- ILLUMINATION SHALL BE PROVIDED FOR FOR SERVICE EQUIPMENT AREAS, MOTOR CONTROL CENTERS AND ELECTRICAL PANELBOARDS PER 604.2
- THE MEANS OF DISCONNECTING FOR EACH SERVICE, FEEDER OR BRANCH CIRCUIT ORIGINATING ON A SWITCHBOARD OR PANEL BOARD SHALL BE LEGIBLY AND DURABLY MARKED TO INDICATE ITS PURPOSE PER 604.3.1
- INDIVIDUAL ELECTRIC METERS, SWITCH GEAR AND GAS METERS SHALL BE CLEARLY LABELED TO INDICATE THE SPACE AND AREA SERVED
- PROVIDE A CLEAR FLOOR AREA/NO STORAGE AREA IN FRONT OF ELECTRICAL PANELS OF NO LESS THAN 36" PER 604.3
- EXPOSED GAS VALVES (INTERIOR OR EXTERIOR), SENSITIVE EQUIPMENT(INTERIOR OR EXTERIOR), FIRE HYDRANTS OR FIRE DEPARTMENT CONNECTIONS SHALL BE PROTECTED FROM DAMAGE PER 312.1 & 507.5.6
- ALL EMERGENCY EXIT DOORS TO BE PERMANENTLY LABELED ON THE INTERIOR AND THE EXTERIOR AS "EMERGENCY EXIT - DO NOT BLOCK" LETTERING SHALL BE AT LEAST 4' FROM THE THRESHOLD AND CONTRAST THE COLOR OF THE DOOR
- ALL EMERGENCY EXIT DOORS TO BE PERMANENTLY LABELED ON THE INTERIOR AND THE EXTERIOR AS "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED" LETTERING SHALL BE 1" TALL AND CONTRAST THE COLOR OF THE DOOR
- THE MAXIMUM STORAGE HEIGHT OF STOCK AND DISLAY AREAS SHALL BE CLEARLY LABELED THROUGHOUT THE BUILDING AND BE VISIBLE FROM FLOOR LEVEL
- FIRE EXTINGUISHERS TO BE PROVIDED. EXTINGUISHERS SHALL BE TAGGED BY A LICENSED SOUTH CAROLINA FIRE EXTINGUISHER COMPANY. FIRE EXTINGUISHERS SHALL BE POSTED IN A CONTINUOUS, UNOBSTRUCTED AND UNOBSCURED LOCATION. MOUNTING HEIGHTS AND TRAVEL DISTANCES PER 906 (906.5, 906.6, 906.9). LOCATION SHOWN IN 1/A001

G. GENERAL BUILDING LIMITATIONS (CHAPTERS 5, 6)

TYPES OF CONSTRUCTION	IIIB
ACTUAL BUILDING AREA	12,180 ft ²
ALLOWABLE BUILDING AREA	UNLIMITED ft ²
ACTUAL BUILDING HEIGHT 47'-8" FEET	4 STORY
ALLOWABLE BUILDING HEIGHT 60' FEET	4 STORY
TOTAL FLOOR AREA (FIRST FLOOR)	12,180 ft ²

H. FEMA FLOOD ZONE

ZONED X

I. FIRE RESISTANCE RATING REQUIREMENTS

13R SPRINKLER SYSTEM

RESIDENTIAL (R-2):

ROOMS & ENCLOSED SPACES -
SPRINKLERED

TABLE 803.11
CLASS C

J. RESTRICTIONS

NO HIGH-PILED COMBUSTIBLE
STORAGE PER IFC(GREATER
THAN 12')

NO COMBUSTIBLE DUST
PRODUCING OPERATIONS
WITHIN THE STRUCTURE

B. APPLICABLE CODES

2020 FBC	7TH EDITION
2020 FBC - EXISTING BUILDING	7TH EDITION
2020 FBC - ACCESSIBILITY	7TH EDITION
2020 FBC - PLUMBING	7TH EDITION
2020 FBC - MECHANICAL	7TH EDITION
2020 FBC - ENERGY	7TH EDITION
2018 FBC - FIRE PREVENTION	7TH EDITION
NFPA 101 LIFE SAFETY - 2021 SC AMENDMENTS	
NFPA 1 UNIFORM CODE - 2021 SC AMENDMENTS	

C. AREA CALCULATIONS
ZONING INFORMATION

ZONE: MPUD
PRINCIPAL BUILDING AREA: 48,720 SF

D. OCCUPANT LOAD (TABLE 1004.5)

FUNCTION OF SPACE	AREA	LOAD FACTOR	OCCUPANTS	COUNT
RESIDENTIAL UNIT RESIDENTIAL	32300 SF	200 SF GROSS	162	104

E. PLUMBING FIXTURES PER UNIT (TABLE 403.1)

RES. UNIT (R-2)	REQUIRED	PROVIDED
WATER CLOSET	1	1
LAVATORIES	1	1
BATH/SHOWER	1	1
KITCHEN SINK	1	1

F. MEANS OF EGRESS

GENERAL MEANS OF EGRESS
8 EXIT SIGNS (1013)
LOCATION REF. BUILDING EGRESS PLANS.

EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2)
EGRESS PATH A, B, C, D, E, F < 250'-0" SHOWN IN 1,2,3,4/A-001

A. PROJECT INFORMATION

NAME OF PROJECT: THE TEALE - NAPLES, BUILDING A

ADDRESS: 4110 GOLDEN GATE PKWY COUNTY: COLLIER
NAPLES, FL 34105

PARCEL ID #: 469-07-00-009

PROPOSED USE: R-2 RESIDENTIAL

ALTERATION LEVEL: LEVEL 2 ALTERATION

AGENT: RYAN HYLER PHONE #: (803) 206-1438

OWNED BY: ☐ CITY/COUNTY ☒ PRIVATE ☐ STATE

CODE ENFORCEMENT JURISDICTION ☐ CITY ☒ COUNTY ☐ STATE

THE TEALE - GOLDEN GATE
BUILDING A
4110 GOLDEN GATE PKWY
NAPLES, FL

SHEET TITLE

CODE
INFORMATION

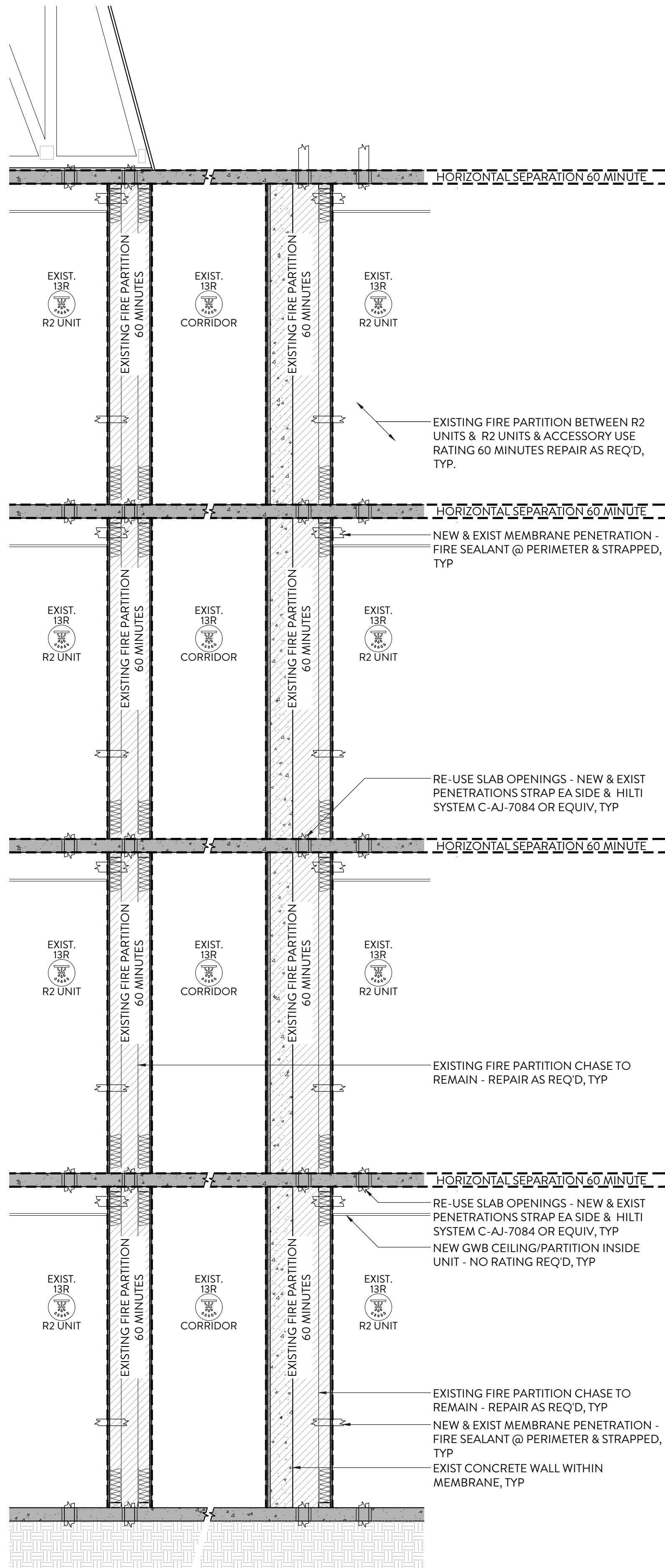
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A-001

JOB #: 00000.00
DATE: 12.28.2023
RE: PERMIT SET



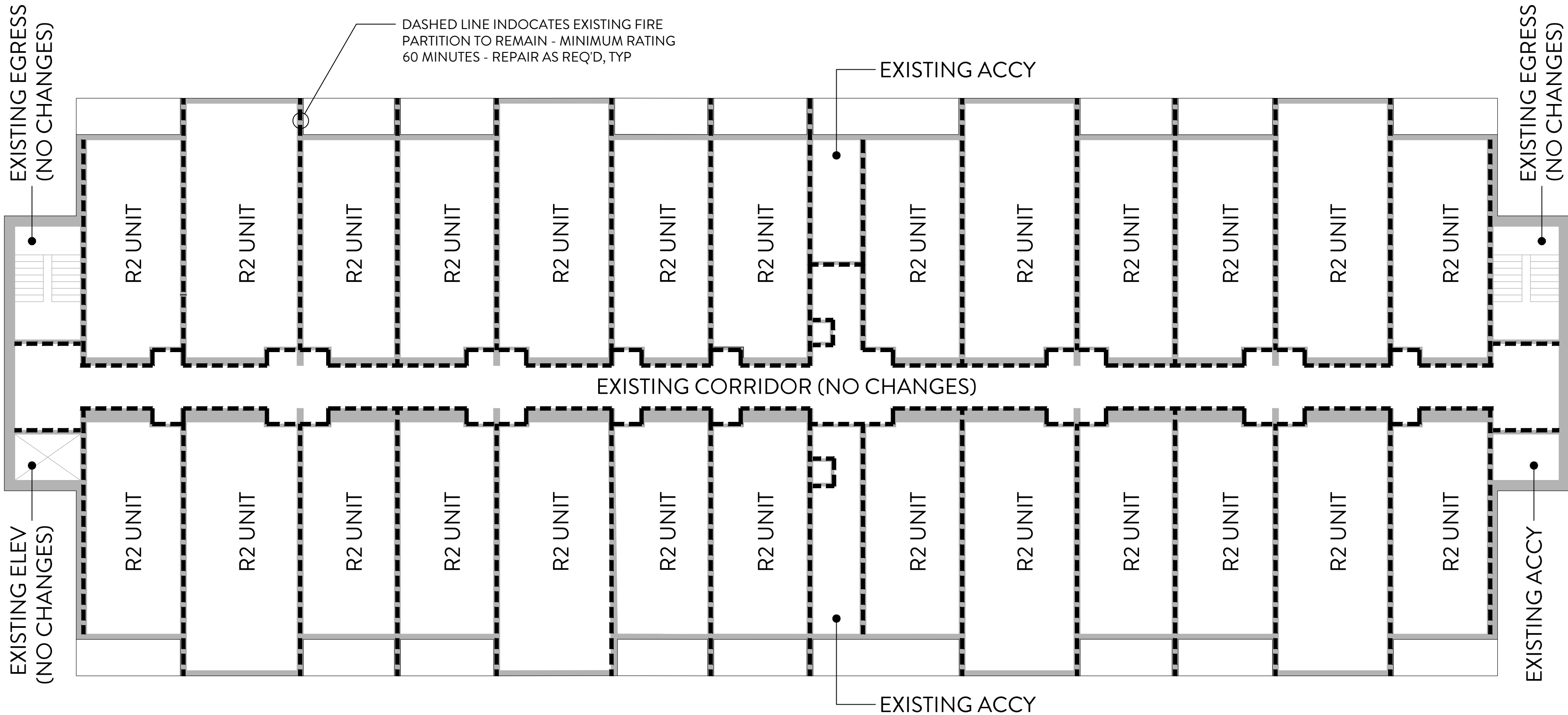
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2 TYP. BUILDING SECTION @ MAIN CHASE
SCALE: 1/2"=1'-0" @ 24"x36" OR 1/4"=1'-0" @ 12"x18"



TABLE 1401.7 SUMMARY SHEET- BUILDING CODE					
Existing occupancy	RESIDENTIAL R1		Proposed occupancy	RESIDENTIAL R2	
Year building was constructed	1989		Number of stories	4	Height in feet 48
Type of construction	3B		Area per floor	11801 SF	
Percentage of open perimeter increase	37	%	Corridor wall rating	1 HOUR	
Completely suppressed:	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>	
Type:			Category	CATEGORY C	
Compartmentation:	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>	
Required door closers:	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>	
Fire-resistance rating of vertical opening enclosures	2 HOUR				
Type of HVAC system	CATEGORY E		serving number of floors	1	
Automatic fire detection:	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>	
Type and location:			Category	CATEGORY E	
Fire alarm system:	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>	
Type:			Category	CATEGORY C	
Smoke control:	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>	
Type:			Category	CATEGORY B	
Adequate exit routes:	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>	
Dead ends:	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>	
Elevator controls:	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>	
Mixed occupancies:	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>	
Patient ability for self-preservation	NA				
Patient concentration	NA				
Smoke compartmentation less than 22,500 sq. feet (2092 m²)	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>	
Attendant-to-patient ratio	NA				
SAFETY PARAMETERS			FIRE SAFETY (FS)		
			MEANS OF EGRESS (ME)		
			GENERAL SAFETY (GS)		
1401.6.1 Building Height	1		1		1
1401.6.2 Building Area	11.5		11.5		11.5
1401.6.3 Compartmentation	4		4		4
1401.6.4 Tenant and Dwelling Unit Separations	2		2		2
1401.6.5 Corridor Walls	0		0		0
1401.6.6 Vertical Openings	2		2		2
1401.6.7 HVAC Systems	5		5		5
1401.6.8 Automatic Fire Detection	6		6		6
1401.6.9 Fire Alarm System	0		0		0
1401.6.10 Smoke control	****		2		2
1401.6.11 Means of Egress	****		0		0
1401.6.12 Dead ends	****		2		2
1401.6.13 Maximum Exit Access Travel Distance	****		12		12
1401.6.14 Elevator Control	0		0		0
1401.6.15 Means of Egress Emergency Lighting	****		1		1
1401.6.16 Mixed Occupancies	0		** **		0
1401.6.17 Automatic Sprinklers	4		4 -2 = 2		4
1401.6.18 Standpipes	4		4		4
1401.6.19 Incidental Use	0		0		0
1401.6.20 Smoke compartmentation	0		0		0
1401.6.21.1 Patient ability for self-preservation	****		NA		NA
1401.6.21.2 Patient concentration	****		NA		NA
1401.6.21.3 Attendant-to-patient Ratio	****		NA		NA
Building score—total value					
*** **No applicable value to be inserted.					
TABLE 1401.9 EVALUATION FORMULAS					
FORMULA:	T1401.7	T1401.8	SCORE	PASS	FAIL
FS - MFS >= 0	39.5 (FS)	21 (MFS)	18.5	X	
ME - MME >= 0	54.5 (ME)	38 (MME)	16.5	X	
GS - MGS >= 0	56.5 (GS)	38 (MGS)	18.5	X	



1 TYP. FLOOR USE/RATED WALL DIAGRAM
SCALE: NTS

ACCESSIBILITY NOTES

THIS IS AN EXISTING BUILDING WITH FIRST OCCUPANCY IN 1989 THAT WILL UNDERGO A CHANGE OF USE AND LEVEL 2 ALTERATION TO CREATE PRIVATE RESIDENTIAL GROUP R-2 WORKFORCE MULTIFAMILY HOUSING WITH ENCLOSED AND UNENCLOSED AMENITY AREAS RESTRICTED TO USE BY RESIDENTS AND RESIDENT GUESTS.

IT IS OUR UNDERSTANDING THAT AS INDIVIDUALLY OWNED OR LEASED HOUSING IN THE PRIVATE SECTOR NOT USED AS A PUBLIC ACCOMMODATION, INCLUDING SINGLE FAMILY HOMES, CONDOMINIUMS, OR APARTMENTS, PER ADA STANDARDS, FHA ACCESSIBILITY GUIDELINES, AND THE STATE OF FLORIDA BUILDING COMMISSION DECLARATORY STATEMENT DS 2013-11 PERTAINING TO THE FLORIDA BUILDING CODE ACCESSIBILITY CODE:

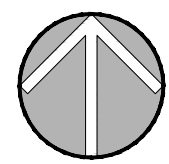
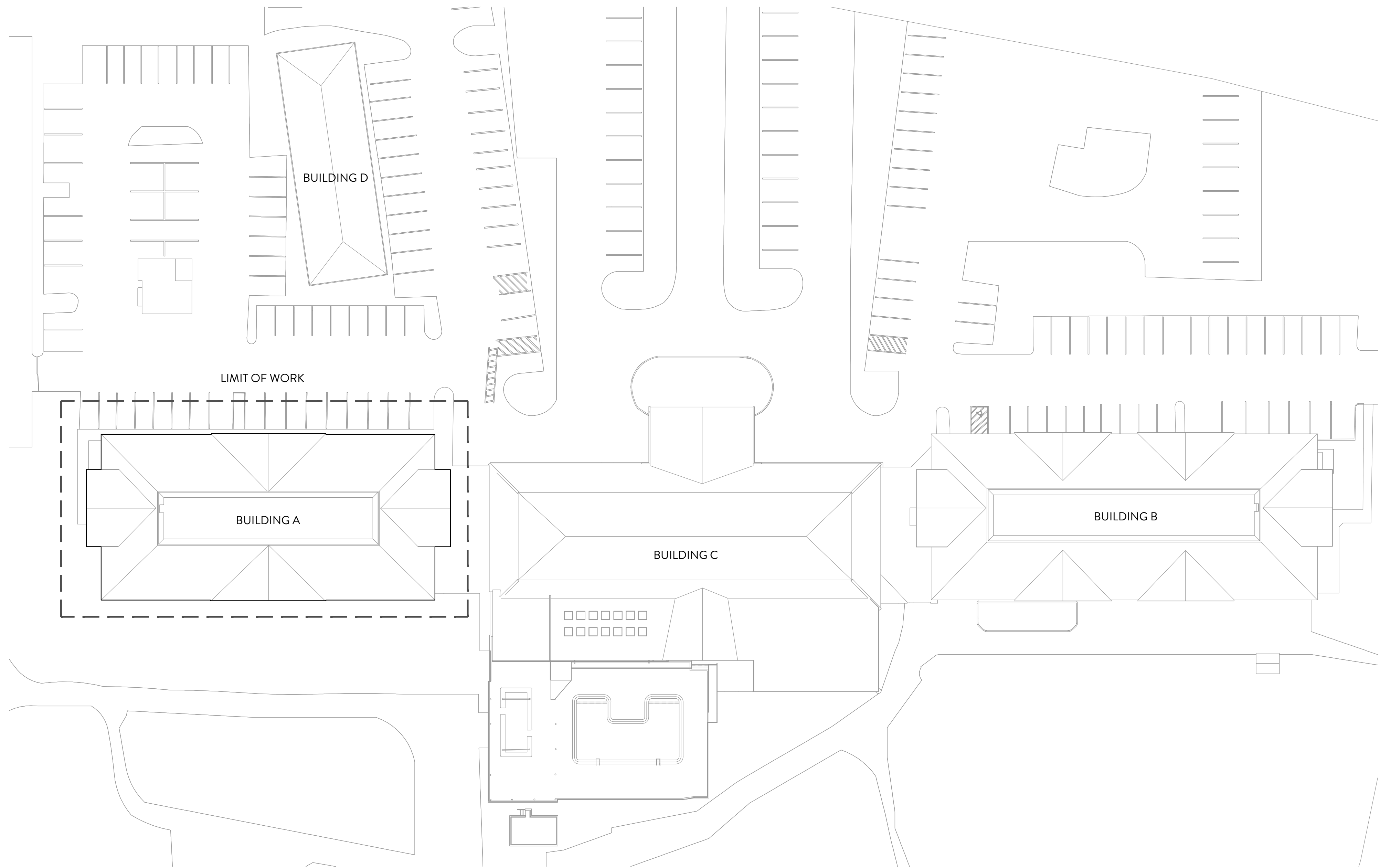
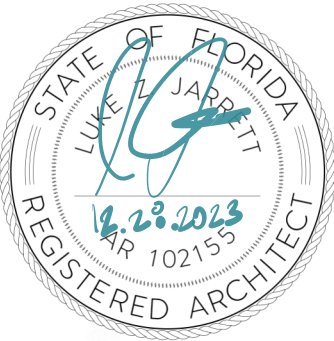
1. THE EXISTING BUILDING, ITS INTERNAL CIRCULATION, AND ITS ATTENDANT ENCLOSED AND UNENCLOSED AMENITY AREAS (RESTRICTED TO USE BY RESIDENTS AND RESIDENT GUESTS) ARE NOT REQUIRED TO BE ACCESSIBLE
2. ACCESSIBLE RESIDENTIAL UNITS ARE NOT REQUIRED
3. TYPE A RESIDENTIAL UNITS ARE NOT REQUIRED
4. TYPE B RESIDENTIAL UNITS ARE NOT REQUIRED
5. THE RESIDENTIAL MULTIFAMILY LEASING OFFICE IS A PLACE OF PUBLIC ACCOMMODATION. THE LEASING OFFICE AND ITS RESTROOMS ARE LOCATED IN A SEPARATE BUILDING AND SHALL BE ACCESSIBLE AND CONNECTED TO ACCESSIBLE PARKING WITH AN ACCESSIBLE ROUTE.

FLORIDA EXISTING BUILDING CODE NOTES

PER FLORIDA EXISTING BUILDING CODE THIS PROJECT IS CHANGE OF USE AND LEVEL 2 ALTERATION TO AN EXISTING BUILDING USING 301.3.3 PERFORMANCE COMPLIANCE METHOD. THE FOLLOWING NOTES APPLY TO THIS PROJECT:

- NO INCREASE TO THE EXISTING BUILDING FOOTPRINT
- NO MODIFICATION TO THE EXISTING BUILDING STRUCTURAL SYSTEM
- NO MODIFICATION TO THE EXISTING BUILDING MEANS OF EGRESS
- NO MODIFICATION TO THE EXISTING BUILDING ELEVATOR
- THIS PROJECT DOES NOT INCREASE EXISTING BUILDING HORIZONTAL OR VERTICAL FIRE SEPARATION REQUIREMENTS
- EXISTING FIRE SEPARATION SYSTEMS ARE TO BE RE-USED WITH REPAIRS AS REQUIRED.

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1

SITE PLAN
SCALE: 1/32"=1'-0" @ 24"x36" OR 1/64"=1'-0" @ 12"x18"

SHEET TITLE

SITE PLAN

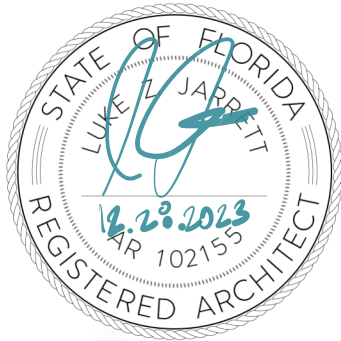
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A-100

JOB #: 00000.00
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THE TEALE - GOLDEN GATE
BUILDING A
4110 GOLDEN GATE PKWY
NAPLES, FL

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THE TEALE - GOLDEN GATE
BUILDING

4110 GOLDEN GATE PKWY
NAPLES, FL

SHEET TITLE

EXISTING FIRST
FLOOR PLAN

SHEET #

A-101

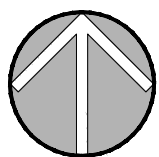
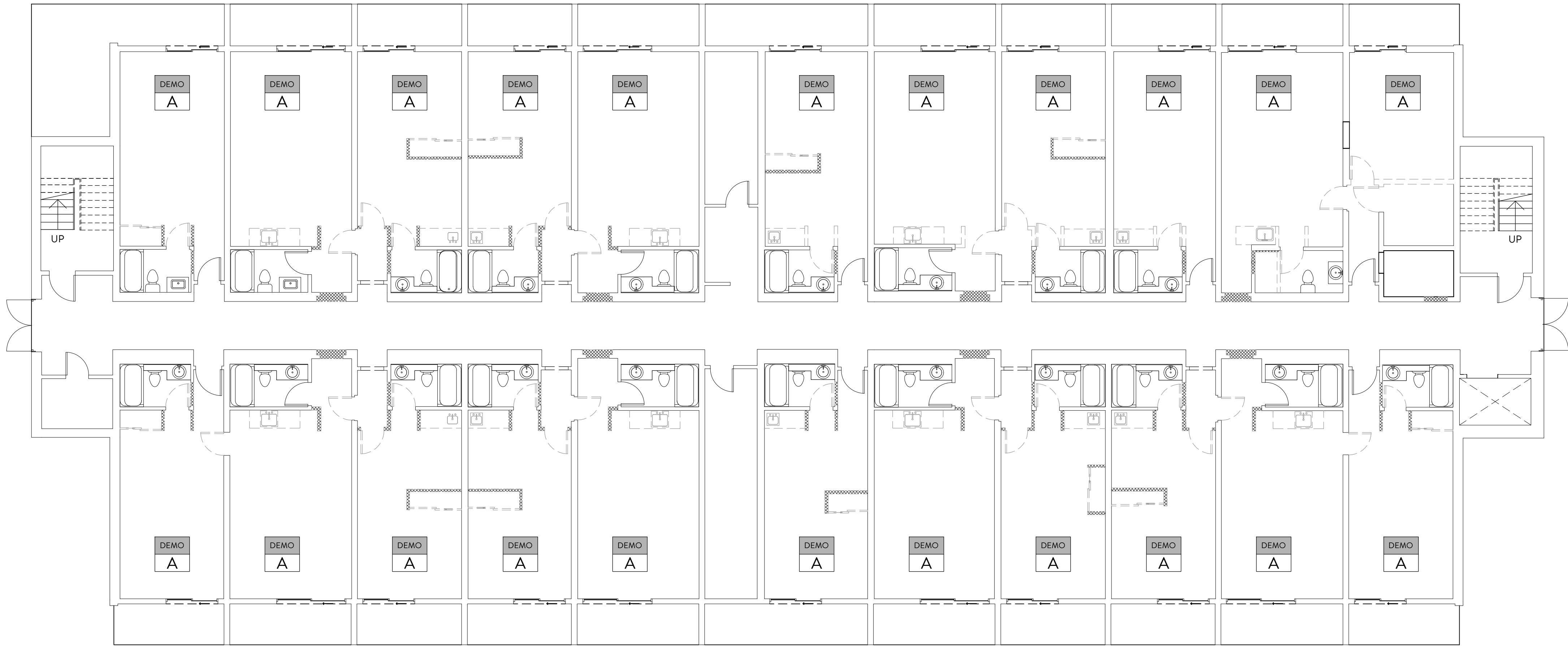
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GENERAL PLAN NOTES

- STRUCTURAL ENGINEER SHALL REVIEW & APPROVE ALL PARTITIONS PRIOR TO COMPLETE DEMOLITION
- ALL EXISTING SANITARY SYSTEMS ARE TO REMAIN
- EXISTING EXTERIOR LIGHTING SYSTEMS DEMOLITION IS LIMITED TO REMOVING FIXTURES. FIXTURES WILL BE REPLACED DURING CONSTRUCTION. THE DESIGN INTENT IS RE-USE OF EXTERIOR LIGHTING WIRING & BOXES
- ALL DOOR SYSTEMS BETWEEN GUESTROOMS ARE TO BE DEMOLISHED COMPLETELY
- SLAB CORE CUTS REQUIRED AT ALL NEW ELEC. PANEL CHASES & SRINKLER RISER
- EXISTING ELEVATOR TO REMAIN
- IF DISCREPANCIES ARE FOUND OR IF ANY DRAWING IS UNCLEAR GC SHALL NOTIFY ARCHITECT AND BE GIVEN DIRECTION OR CLARIFICATION PER THE ORIGINAL DESIGN INTENT BY THE ARCHITECT BEFORE PROCEEDING WITH AFFECTED WORK.

DEMOLITION LEGEND

	SELECTIVE DEMOLITION
	DEMOLITION: GUESTROOM DEMOLISH COMPLETE INTERIOR PARTITIONS & DOORS AS INDICATED. SELECTIVE DEMOLITION LIMITED TO REMOVAL OF EXISTING PANEL, P/M/E FIXTURES & FLOOR FINISHES. CAP & ABANDON IN PLACE ELECTRICAL & SUPPLY WATER IN AREAS OTHER THAN PARTITIONS. SANITARY & EF SYSTEMS TO BE RE-USED. CREATE OPENING FOR NEW DOORS.



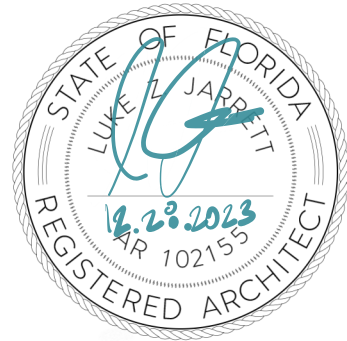
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FIRST FLOOR PLAN

SCALE: 1/8"=1'-0" @ 24"x36" OR 1/16"=1'-0" @ 12"x18"

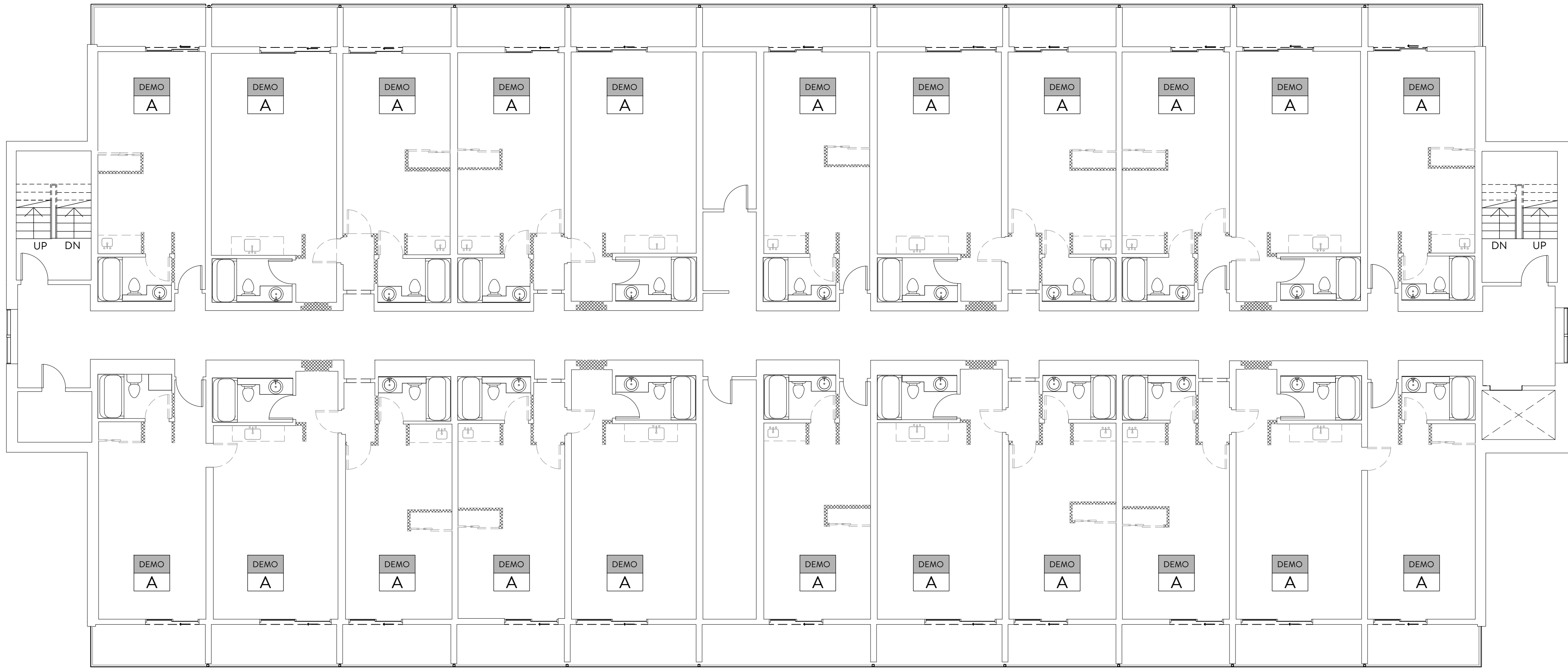


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THE TEALE - GOLDEN GATE
BUILDING

4110 GOLDEN GATE PKWY
NAPLES, FL

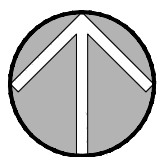


GENERAL PLAN NOTES

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- EXISTING ELEVATOR TO REMAIN
- IF DISCREPANCIES ARE FOUND OR IF ANY DRAWING IS UNCLEAR GC SHALL NOTIFY ARCHITECT AND BE GIVEN DIRECTION OR CLARIFICATION PER THE ORIGINAL DESIGN INTENT BY THE ARCHITECT BEFORE PROCEEDING WITH AFFECTED WORK.

DEMOLITION LEGEND

	SELECTIVE DEMOLITION
	DEMOLITION: GUESTROOM DEMOLISH COMPLETE INTERIOR PARTITIONS & DOORS AS INDICATED. SELECTIVE DEMOLITION LIMITED TO REMOVAL OF EXISTING PANEL, P/M/E FIXTURES & FLOOR FINISHES. CAP & ABANDON IN PLACE ELECTRICAL & SUPPLY WATER IN AREAS OTHER THAN PARTITIONS. SANITARY & EF SYSTEMS TO BE RE-USED. CREATE OPENING FOR NEW DOORS.



1 SECOND FLOOR PLAN
SCALE: 1/8"=1'-0" @ 24"x36" OR 1/16"=1'-0" @ 12"x18"



SHEET TITLE

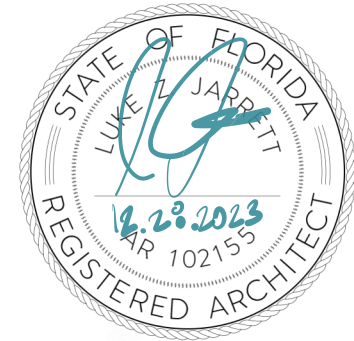
EXISTING
SECOND FLOOR
PLAN

SHEET #

A-102

JOB #: 00000.00
DATE: 12.28.2023
RE: PERMIT SET

DRAWINGS AND SPECIFICATIONS ARE PROPRIETARY AND PROPERTY OF SYNCHRONICITY, LLC. NO USAGE ON ANY OTHER PROJECT OR DESIGN. PERMITTED. VIOLATIONS SUBJECT TO FULL PROSECUTION UNDER LAW. USAGE FOR ANY REASON OUTSIDE OF THIS SPECIFIC PROJECT MUST HAVE WRITTEN PERMISSION FROM SYNCHRONICITY, LLC.



THE TEALE - GOLDEN GATE
BUILDING

4110 GOLDEN GATE PKWY
NAPLES, FL

SHEET TITLE

EXISTING THIRD
FLOOR PLAN

SHEET #

A-103

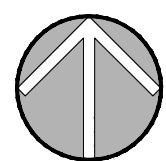
JOB #: 00000.00
DATE: 12.28.2023
RE: PERMIT SET

GENERAL PLAN NOTES

- STRUCTURAL ENGINEER SHALL REVIEW & APPROVE ALL PARTITIONS PRIOR TO COMPLETE DEMOLITION
- ALL EXISTING SANITARY SYSTEMS ARE TO REMAIN
- EXISTING EXTERIOR LIGHTING SYSTEMS DEMOLITION IS LIMITED TO REMOVING FIXTURES. FIXTURES WILL BE REPLACED DURING CONSTRUCTION. THE DESIGN INTENT IS RE-USE OF EXTERIOR LIGHTING WIRING & BOXES
- ALL DOOR SYSTEMS BETWEEN GUESTROOMS ARE TO BE DEMOLISHED COMPLETELY
- SLAB CORE CUTS REQUIRED AT ALL NEW ELEC. PANEL CHASES & SRINKLER RISER
- EXISTING ELEVATOR TO REMAIN
- IF DISCREPANCIES ARE FOUND OR IF ANY DRAWING IS UNCLER GC SHALL NOTIFY ARCHITECT AND BE GIVEN DIRECTION OR CLARIFICATION PER THE ORIGINAL DESIGN INTENT BY THE ARCHITECT BEFORE PROCEEDING WITH AFFECTED WORK.

DEMOLITION LEGEND

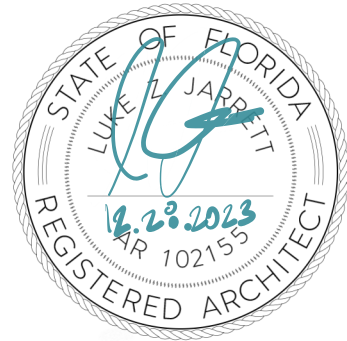
	SELECTIVE DEMOLITION
	DEMOLITION: GUESTROOM DEMOLISH COMPLETE INTERIOR PARTITIONS & DOORS AS INDICATED. SELECTIVE DEMOLITION LIMITED TO REMOVAL OF EXISTING PANEL, P/M/E FIXTURES & FLOOR FINISHES. CAP & ABANDON IN PLACE ELECTRICAL & SUPPLY WATER IN AREAS OTHER THAN PARTITIONS. SANITARY & EF SYSTEMS TO BE RE-USED. CREATE OPENING FOR NEW DOORS.



1 THIRD FLOOR PLAN
SCALE: 1/8"=1'-0" @ 24"x36" OR 1/16"=1'-0" @ 12"x18"

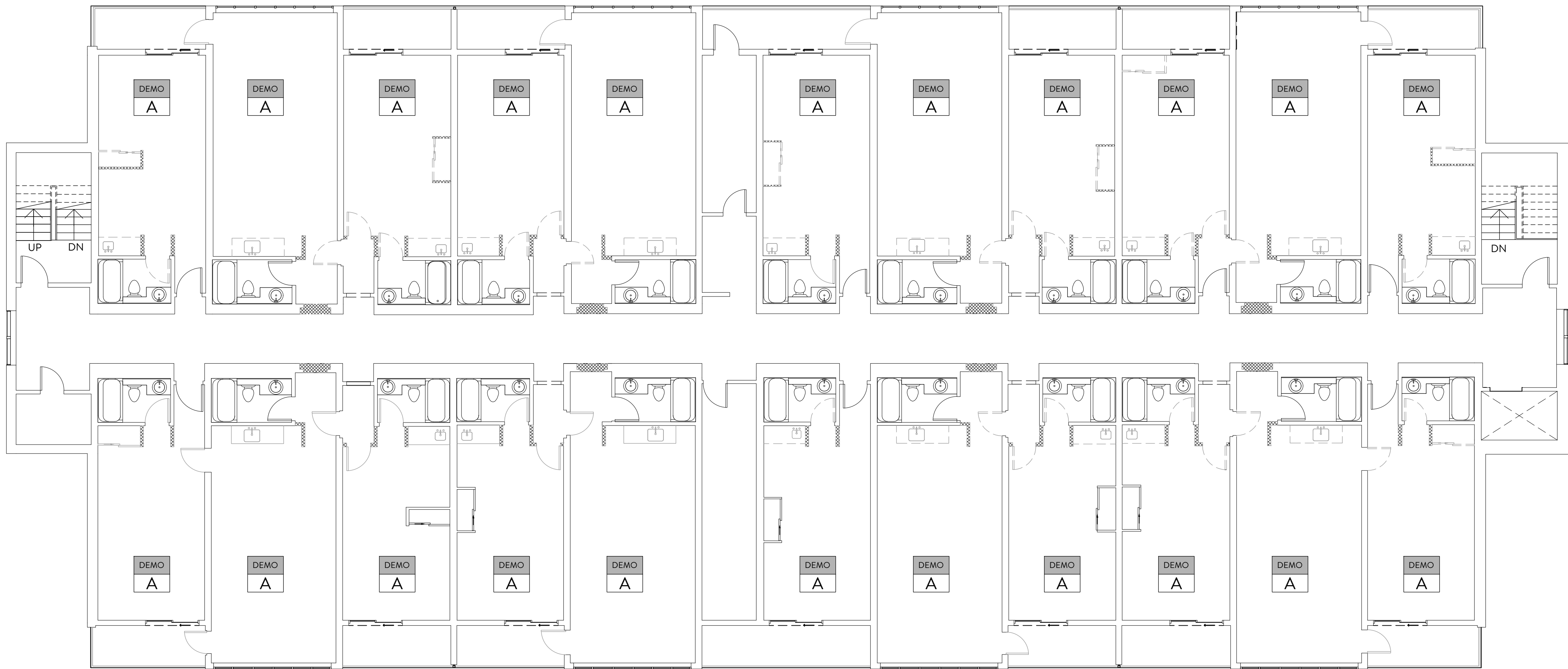


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THE TEALE - GOLDEN GATE
BUILDING

4110 GOLDEN GATE PKWY
NAPLES, FL

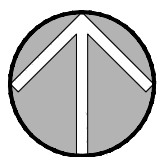


GENERAL PLAN NOTES

- STRUCTURAL ENGINEER SHALL REVIEW & APPROVE ALL PARTITIONS PRIOR TO COMPLETE DEMOLITION
- ALL EXISTING SANITARY SYSTEMS ARE TO REMAIN
- EXISTING EXTERIOR LIGHTING SYSTEMS DEMOLITION IS LIMITED TO REMOVING FIXTURES. FIXTURES WILL BE REPLACED DURING CONSTRUCTION. THE DESIGN INTENT IS RE-USE OF EXTERIOR LIGHTING WIRING & BOXES
- ALL DOOR SYSTEMS BETWEEN GUESTROOMS ARE TO BE DEMOLISHED COMPLETELY
- SLAB CORE CUTS REQUIRED AT ALL NEW ELEC. PANEL CHASES & SRINKLER RISER
- EXISTING ELEVATOR TO REMAIN
- IF DISCREPANCIES ARE FOUND OR IF ANY DRAWING IS UNCLER GC SHALL NOTIFY ARCHITECT AND BE GIVEN DIRECTION OR CLARIFICATION PER THE ORIGINAL DESIGN INTENT BY THE ARCHITECT BEFORE PROCEEDING WITH AFFECTED WORK.

DEMOLITION LEGEND

	SELECTIVE DEMOLITION
	DEMOLITION: GUESTROOM DEMOLISH COMPLETE INTERIOR PARTITIONS & DOORS AS INDICATED. SELECTIVE DEMOLITION LIMITED TO REMOVAL OF EXISTING PANEL, P/M/E FIXTURES & FLOOR FINISHES. CAP & ABANDON IN PLACE ELECTRICAL & SUPPLY WATER IN AREAS OTHER THAN PARTITIONS. SANITARY & EF SYSTEMS TO BE RE-USED. CREATE OPENING FOR NEW DOORS.



1 FOURTH FLOOR PLAN
SCALE: 1/8"=1'-0" @ 24"x36" OR 1/16"=1'-0" @ 12"x18"



SHEET TITLE

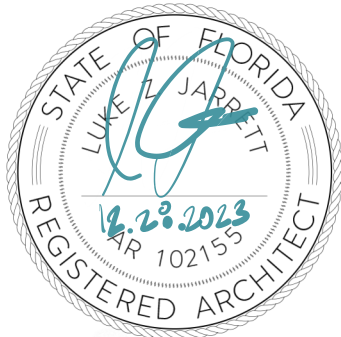
EXISTING
FOURTH FLOOR
PLAN

SHEET #

A-104

JOB #: 00000.00
DATE: 12.28.2023
RE: PERMIT SET

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THE TEALE - GOLDEN GATE
BUILDING

4110 GOLDEN GATE PKWY
NAPLES, FL

SHEET TITLE

EXISTING ROOF
PLAN

SHEET #

A-105

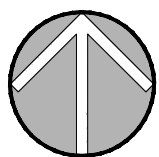
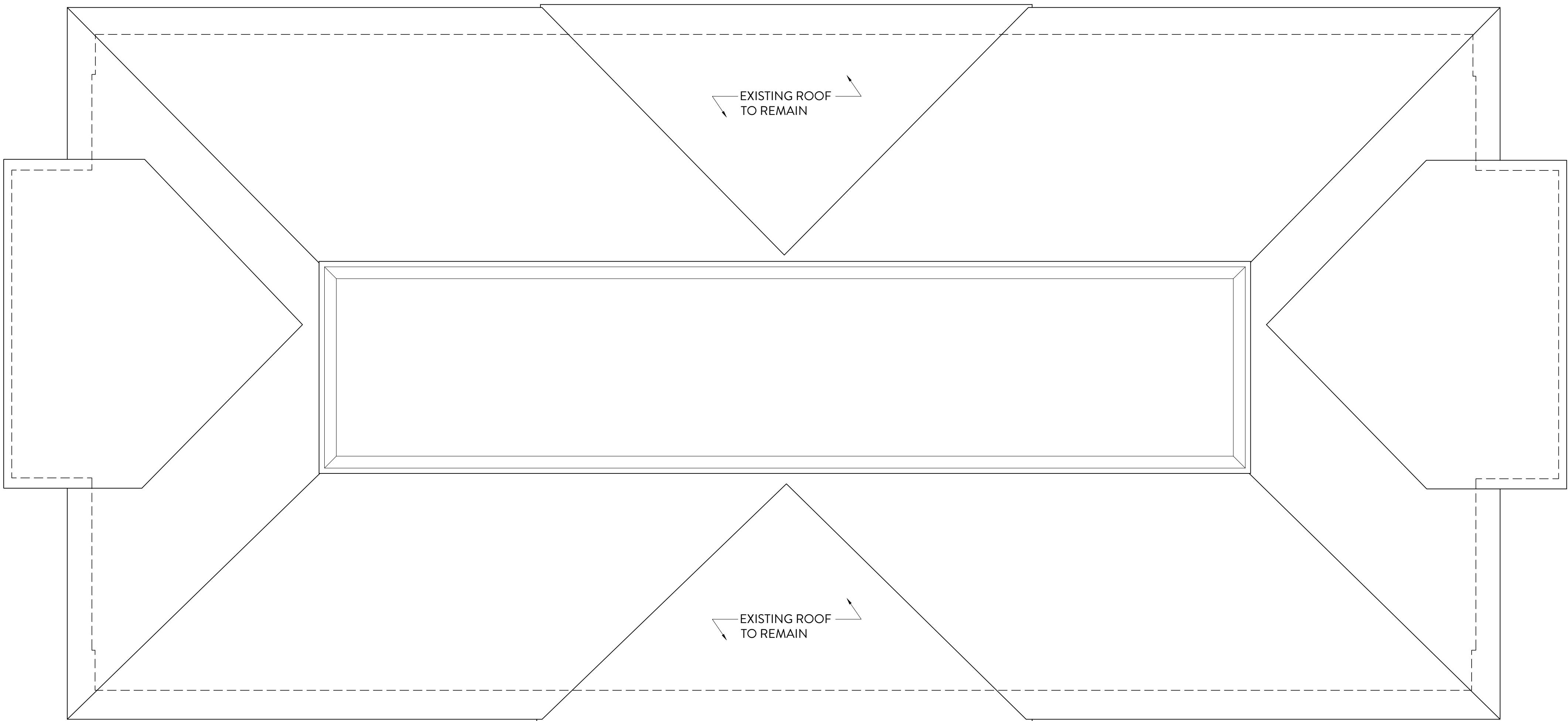
JOB #: 00000.00
DATE: 12.28.2023
RE: PERMIT SET

GENERAL PLAN NOTES

- STRUCTURAL ENGINEER SHALL REVIEW & APPROVE ALL PARTITIONS PRIOR TO COMPLETE DEMOLITION
- ALL EXISTING SANITARY SYSTEMS ARE TO REMAIN
- EXISTING EXTERIOR LIGHTING SYSTEMS DEMOLITION IS LIMITED TO REMOVING FIXTURES. FIXTURES WILL BE REPLACED DURING CONSTRUCTION. THE DESIGN INTENT IS RE-USE OF EXTERIOR LIGHTING WIRING & BOXES
- ALL DOOR SYSTEMS BETWEEN GUESTROOMS ARE TO BE DEMOLISHED COMPLETELY
- SLAB CORE CUTS REQUIRED AT ALL NEW ELEC. PANEL CHASES & SRINKLER RISER
- EXISTING ELEVATOR TO REMAIN
- IF DISCREPANCIES ARE FOUND OR IF ANY DRAWING IS UNCLEAR GC SHALL NOTIFY ARCHITECT AND BE GIVEN DIRECTION OR CLARIFICATION PER THE ORIGINAL DESIGN INTENT BY THE ARCHITECT BEFORE PROCEEDING WITH AFFECTED WORK.

DEMOLITION LEGEND

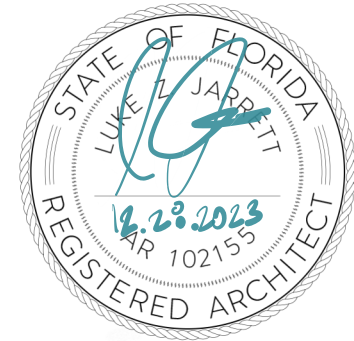
	SELECTIVE DEMOLITION
	DEMOLITION: GUESTROOM DEMOLISH COMPLETE INTERIOR PARTITIONS & DOORS AS INDICATED. SELECTIVE DEMOLITION LIMITED TO REMOVAL OF EXISTING PANEL, P/M/E FIXTURES & FLOOR FINISHES. CAP & ABANDON IN PLACE ELECTRICAL & SUPPLY WATER IN AREAS OTHER THAN PARTITIONS. SANITARY & EF SYSTEMS TO BE RE-USED. CREATE OPENING FOR NEW DOORS.



1 ROOF PLAN
SCALE: 1/8"=1'-0" @ 24"x36" OR 1/16"=1'-0" @ 12"x18"



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THE TEALE - GOLDEN GATE
BUILDING

4110 GOLDEN GATE PKWY
NAPLES, FL

SHEET TITLE

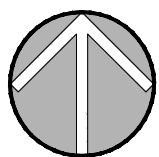
PROPOSED FIRST
FLOOR PLAN

SHEET #

A-106

JOB #: 00000.00
DATE: 12.28.2023
RE: PERMIT SET

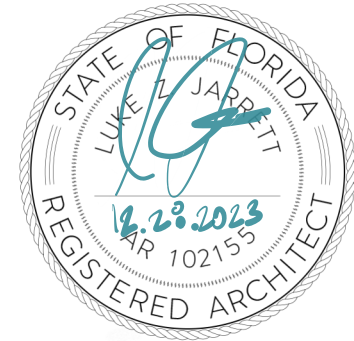
PROPOSED PLAN NOTE		GENERAL PLAN NOTES
1	NEW UNIT DOOR, REF. A-701 FOR WINDOW SCHEDULE AND DETAIL.	
2	TYP. CORNER KITCHEN, REF. A-111	
3	TYP. NEW BATHROOM, REF. A-114	
4	NEW BATHROOM DOOR, REF. A-701 FOR WINDOW SCHEDULE AND DETAIL.	
5	REPAIR EXISTING BALCONY GUARD SYSTEM PER 2020 FBC REF. STRUCTURAL	
		CONSTRUCTION NOTES
		<ul style="list-style-type: none">EXISTING BUILDING PROTECTED BY EXISTING NFPA 13R AUTOMATIC FIRE SPRINKLER SYSTEM. ALL AREAS RECEIVING ALTERATIONS SHALL BE PROTECTED AS REQUIRED PER FBC 903.3.12EXISTING 60 MINUTE FIRE SEPARATION SHALL REMAIN BETWEEN ALL R2 UNITS, ACCESSORY USES, AND CORRIDOR WALLS. REPAIR EXISTING MEMBRANES AS REQUIREDNEW PLUMBING EQUIPMENT TO REPLACE EXISTING SHALL BE IN THE SAME LOCATION & REUSE EXIST SLAB OPENINGS. BUILDING SANITARY SYSTEM TO BE REUSEDINTERIOR LIGHT FIXTURES SHALL BE SURFACE MOUNTED.
LEGEND		
C	WINDOW TAG - REFER TO SHEET A-701	
1102	DOOR TAG - REFER TO SHEET A-701	
A	WALL TAG -	
RATED WALL		
	RATED WALL ASSEMBLY	
WALL TYPE LEGEND		
USE MOISTURE/MOLD RESISTANT GWB & PT WOOD OR GALV. LG. STL. FRAMING AT ALL WET OR UNCOND. LOCATIONS, TYP.		
A	(1) LAYER TYPE X GWB ON 2X4 STUD STAGGERED 8" O.C. W/ 3-1/2" BATT IN CAVITY & (1) LAYER TYPE X 5/8" GWB OTHER SIDE - MATCH EXISTING WALL THICKNESS. MIN. 30 MIN. FIRE RATED WALL.	
B	(1) LAYER GWB EACH SIDE ON 2X4 STUD 16" O.C.	
C	(1) LAYER TYPE X GWB ON 2X4 STUD STAGGERED 8" O.C. W/ 3-1/2" BATT IN CAVITY & (1) LAYER TYPE X 5/8" GWB EACH SIDE - MATCH EXISTING WALL THICKNESS. MIN. 1 HOUR FIRE RATED WALL.	
D	FILL EXISTING OPENING TO MATCH EXISTING EXTERIOR WALL	



1 FIRST FLOOR PLAN
SCALE: 1/8"=1'-0" @ 24"x36" OR 1/16"=1'-0" @ 12"x18"



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THE TEALE - GOLDEN GATE
BUILDING
4110 GOLDEN GATE PKWY
NAPLES, FL









SHEET TITLE

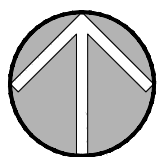
PROPOSED
SECOND FLOOR
PLAN

SHEET #

A-107

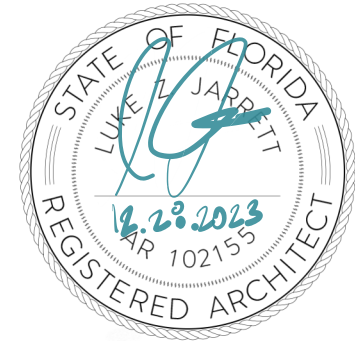
JOB #: 00000.00
DATE: 12.28.2023
RE: PERMIT SET

PROPOSED PLAN NOTE		GENERAL PLAN NOTES
1	NEW UNIT DOOR, REF. A-701 FOR WINDOW SCHEDULE AND DETAIL.	<ul style="list-style-type: none">ALL DIMENSIONS ARE TAKEN FROM F/ STUD/BLOCK NEW & F/ WALL EXISTING.IF DISCREPANCIES ARE FOUND OR IF ANY DRAWING IS UNCLEAR GC SHALL NOTIFY ARCHITECT AND BE GIVEN DIRECTION OR CLARIFICATION PER THE ORIGINAL DESIGN INTENT BY THE ARCHITECT BEFORE PROCEEDING WITH AFFECTED WORK.GC SHALL FIELD VERIFY ALL DIMS AND EXIST. COND. PRIOR TO CONSTRUCTION
2	TYP. CORNER KITCHEN, REF. A-111	
3	TYP. NEW BATHROOM, REF. A-114	
4	NEW BATHROOM DOOR, REF. A-701 FOR WINDOW SCHEDULE AND DETAIL.	
5	REPAIR EXISTING BALCONY GUARD SYSTEM PER 2020 FBC REF. STRUCTURAL	
		CONSTRUCTION NOTES
		<ul style="list-style-type: none">EXISTING BUILDING PROTECTED BY EXISTING NFPA 13R AUTOMATIC FIRE SPRINKLER SYSTEM. ALL AREAS RECEIVING ALTERATIONS SHALL BE PROTECTED AS REQUIRED PER FBC 903.3.12EXISTING 60 MINUTE FIRE SEPARATION SHALL REMAIN BETWEEN ALL R2 UNITS, ACCESSORY USES, AND CORRIDOR WALLS. REPAIR EXISTING MEMBRANES AS REQUIREDNEW PLUMBING EQUIPMENT TO REPLACE EXISTING SHALL BE IN THE SAME LOCATION & REUSE EXIST SLAB OPENINGS. BUILDING SANITARY SYSTEM TO BE REUSEDINTERIOR LIGHT FIXTURES SHALL BE SURFACE MOUNTED.
		LEGEND
	WINDOW TAG - REFER TO SHEET A-701	
	DOOR TAG - REFER TO SHEET A-701	
	WALL TAG -	
		RATED WALL
	RATED WALL ASSEMBLY	
		WALL TYPE LEGEND
		USE MOISTURE/MOLD RESISTANT GWB & PT WOOD OR GALV. LG. STL. FRAMING AT ALL WET OR UNCOND. LOCATIONS, TYP.
	(1) LAYER TYPE X GWB ON 2X4 STUD STAGGERED 8" O.C. W/ 3-1/2" BATT IN CAVITY & (1) LAYER TYPE X 5/8" GWB OTHER SIDE - MATCH EXISTING WALL THICKNESS. MIN. 30 MIN. FIRE RATED WALL.	
	(1) LAYER GWB EACH SIDE ON 2X4 STUD 16" O.C.	
	(1) LAYER TYPE X GWB ON 2X4 STUD STAGGERED 8" O.C. W/ 3-1/2" BATT IN CAVITY & (1) LAYER TYPE X 5/8" GWB EACH SIDE - MATCH EXISTING WALL THICKNESS. MIN. 1 HOUR FIRE RATED WALL.	
	FILL EXISTING OPENING TO MATCH EXISTING EXTERIOR WALL	



1 SECOND FLOOR PLAN
SCALE: 1/8"=1'-0" @ 24"x36" OR 1/16"=1'-0" @ 12"x18"





THE TEALE - GOLDEN GATE
BUILDING

4110 GOLDEN GATE PKWY
NAPLES, FL

SHEET TITLE

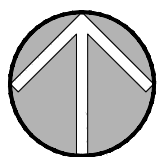
PROPOSED
THIRD FLOOR
PLAN

SHEET #

A-108

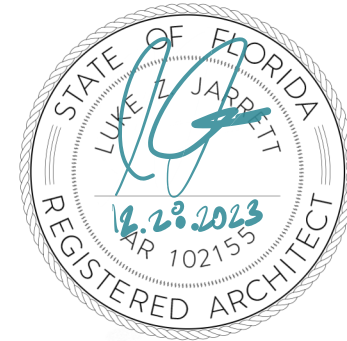
JOB #: 00000.00
DATE: 12.28.2023
RE: PERMIT SET

PROPOSED PLAN NOTE		GENERAL PLAN NOTES
1	NEW UNIT DOOR, REF. A-701 FOR WINDOW SCHEDULE AND DETAIL.	
2	TYP. CORNER KITCHEN, REF. A-111	
3	TYP. NEW BATHROOM, REF. A-114	
4	NEW BATHROOM DOOR, REF. A-701 FOR WINDOW SCHEDULE AND DETAIL.	
5	REPAIR EXISTING BALCONY GUARD SYSTEM PER 2020 FBC REF. STRUCTURAL	
		CONSTRUCTION NOTES
		<ul style="list-style-type: none">EXISTING BUILDING PROTECTED BY EXISTING NFPA 13R AUTOMATIC FIRE SPRINKLER SYSTEM. ALL AREAS RECEIVING ALTERATIONS SHALL BE PROTECTED AS REQUIRED PER FBC 903.3.12EXISTING 60 MINUTE FIRE SEPARATION SHALL REMAIN BETWEEN ALL R2 UNITS, ACCESSORY USES, AND CORRIDOR WALLS. REPAIR EXISTING MEMBRANES AS REQUIREDNEW PLUMBING EQUIPMENT TO REPLACE EXISTING SHALL BE IN THE SAME LOCATION & REUSE EXIST SLAB OPENINGS. BUILDING SANITARY SYSTEM TO BE REUSEDINTERIOR LIGHT FIXTURES SHALL BE SURFACE MOUNTED.
LEGEND		
C	WINDOW TAG - REFER TO SHEET A-701	
1102	DOOR TAG - REFER TO SHEET A-701	
A	WALL TAG -	
RATED WALL		
	RATED WALL ASSEMBLY	
WALL TYPE LEGEND		
USE MOISTURE/MOLD RESISTANT GWB & PT WOOD OR GALV. LG. STL. FRAMING AT ALL WET OR UNCOND. LOCATIONS, TYP.		
A	(1) LAYER TYPE X GWB ON 2X4 STUD STAGGERED 8" O.C. W/ 3-1/2" BATT IN CAVITY & (1) LAYER TYPE X 5/8" GWB OTHER SIDE - MATCH EXISTING WALL THICKNESS. MIN. 30 MIN. FIRE RATED WALL.	
B	(1) LAYER GWB EACH SIDE ON 2X4 STUD 16" O.C.	
C	(1) LAYER TYPE X GWB ON 2X4 STUD STAGGERED 8" O.C. W/ 3-1/2" BATT IN CAVITY & (1) LAYER TYPE X 5/8" GWB EACH SIDE - MATCH EXISTING WALL THICKNESS. MIN. 1 HOUR FIRE RATED WALL.	
D	FILL EXISTING OPENING TO MATCH EXISTING EXTERIOR WALL	



1 THIRD FLOOR PLAN
SCALE: 1/8"=1'-0" @ 24"x36" OR 1/16"=1'-0" @ 12"x18"





PROPOSED PLAN NOTE		GENERAL PLAN NOTES
1	NEW UNIT DOOR, REF. A-701 FOR WINDOW SCHEDULE AND DETAIL.	
2	TYP. CORNER KITCHEN, REF. A-111	
3	TYP. NEW BATHROOM, REF. A-114	
4	NEW BATHROOM DOOR, REF. A-701 FOR WINDOW SCHEDULE AND DETAIL.	
5	REPAIR EXISTING BALCONY GUARD SYSTEM PER 2020 FBC REF. STRUCTURAL	

CONSTRUCTION NOTES

- EXISTING BUILDING PROTECTED BY EXISTING NFPA 13R AUTOMATIC FIRE SPRINKLER SYSTEM. ALL AREAS RECEIVING ALTERATIONS SHALL BE PROTECTED AS REQUIRED PER FBC 903.3.12
- EXISTING 60 MINUTE FIRE SEPARATION SHALL REMAIN BETWEEN ALL R2 UNITS, ACCESSORY USES, AND CORRIDOR WALLS. REPAIR EXISTING MEMBRANES AS REQUIRED
- NEW PLUMBING EQUIPMENT TO REPLACE EXISTING SHALL BE IN THE SAME LOCATION & REUSE EXIST SLAB OPENINGS. BUILDING SANITARY SYSTEM TO BE REUSED
- INTERIOR LIGHT FIXTURES SHALL BE SURFACE MOUNTED.

LEGEND

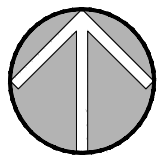
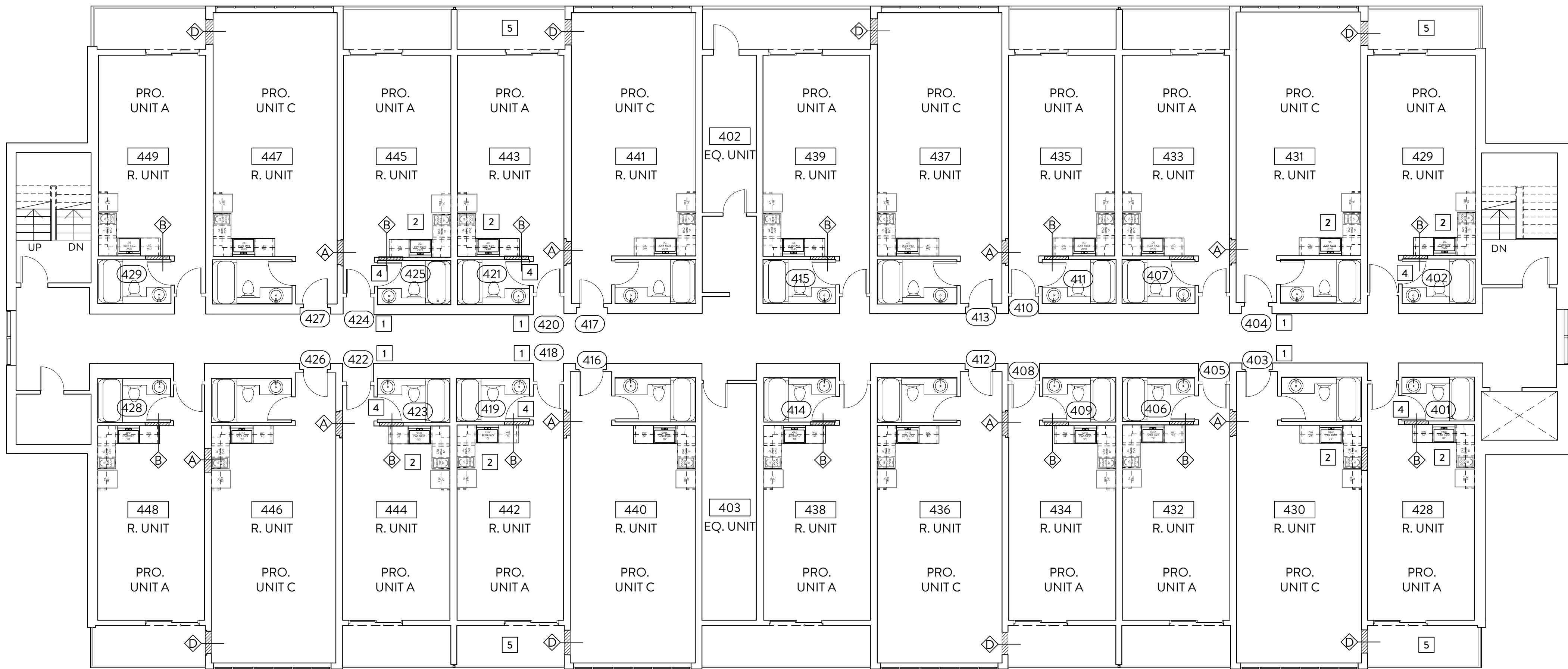
(C)	WINDOW TAG - REFER TO SHEET A-701
(1102)	DOOR TAG - REFER TO SHEET A-701
(A)	WALL TAG -

RATED WALL

(A)	RATED WALL ASSEMBLY
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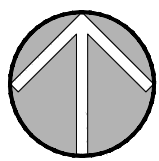
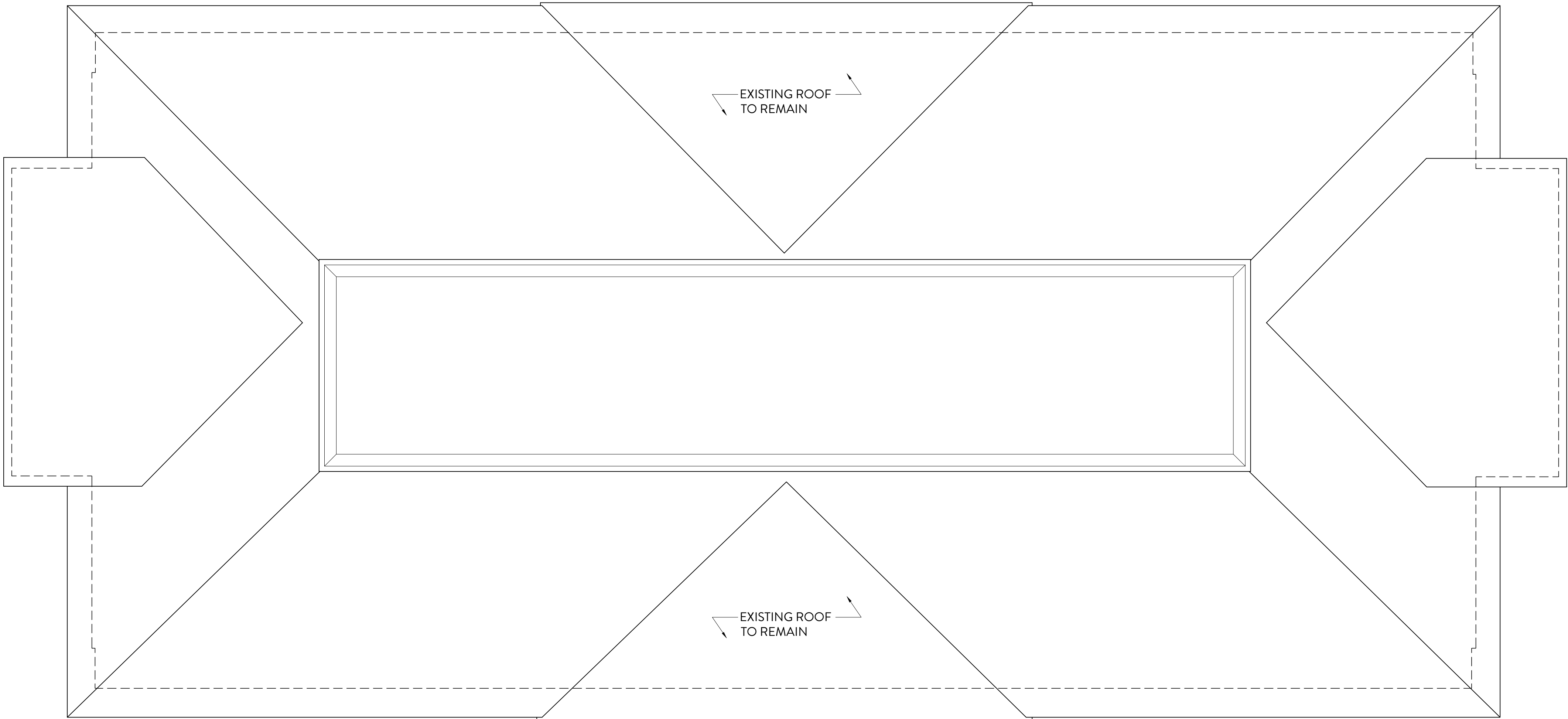
WALL TYPE LEGEND

USE MOISTURE/MOLD RESISTANT GWB & PT WOOD OR GALV. LG. STL. FRAMING AT ALL WET OR UNCOND. LOCATIONS, TYP.	
(A)	(1) LAYER TYPE X GWB ON 2X4 STUD STAGGERED 8" O.C. W/ 3-1/2" BATT IN CAVITY & (1) LAYER TYPE X 5/8" GWB OTHER SIDE - MATCH EXISTING WALL THICKNESS. MIN. 30 MIN. FIRE RATED WALL.
(B)	(1) LAYER GWB EACH SIDE ON 2X4 STUD 16" O.C.
(C)	(1) LAYER TYPE X GWB ON 2X4 STUD STAGGERED 8" O.C. W/ 3-1/2" BATT IN CAVITY & (1) LAYER TYPE X 5/8" GWB EACH SIDE - MATCH EXISTING WALL THICKNESS. MIN. 1 HOUR FIRE RATED WALL.
(D)	FILL EXISTING OPENING TO MATCH EXISTING EXTERIOR WALL



1 FOURTH FLOOR PLAN
SCALE: 1/8"=1'-0" @ 24"x36" OR 1/16"=1'-0" @ 12"x18"

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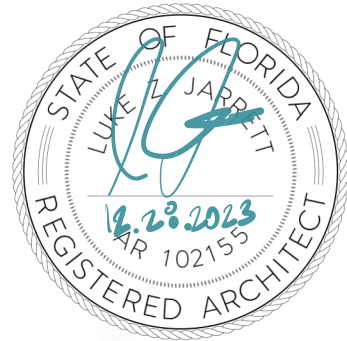
1 ROOF PLAN
SCALE: 1/8"=1'-0" @ 24"x36" OR 1/16"=1'-0" @ 12"x18"

GENERAL PLAN NOTES

- ALL DIMENSIONS ARE TAKEN FROM F/ STUD/BLOCK NEW & F/ WALL EXISTING.
- IF DISCREPANCIES ARE FOUND OR IF ANY DRAWING IS UNCLEAR GC SHALL NOTIFY ARCHITECT AND BE GIVEN DIRECTION OR CLARIFICATION PER THE ORIGINAL DESIGN INTENT BY THE ARCHITECT BEFORE PROCEEDING WITH AFFECTED WORK.
- GC SHALL FIELD VERIFY ALL DIMS AND EXIST. COND. PRIOR TO CONSTRUCTION

CONSTRUCTION NOTES

- EXISTING BUILDING PROTECTED BY EXISTING NFPA 13R AUTOMATIC FIRE SPRINKLER SYSTEM. ALL AREAS RECEIVING ALTERATIONS SHALL BE PROTECTED AS REQUIRED PER FBC 903.3.12
- EXISTING 60 MINUTE FIRE SEPARATION SHALL REMAIN BETWEEN ALL R2 UNITS, ACCESSORY USES, AND CORRIDOR WALLS. REPAIR EXISTING MEMBRANES AS REQUIRED
- NEW PLUMBING EQUIPMENT TO REPLACE EXISTING SHALL BE IN THE SAME LOCATION & REUSE EXIST SLAB OPENINGS. BUILDING SANITARY SYSTEM TO BE REUSED
- INTERIOR LIGHT FIXTURES SHALL BE SURFACE MOUNTED.



SHEET TITLE

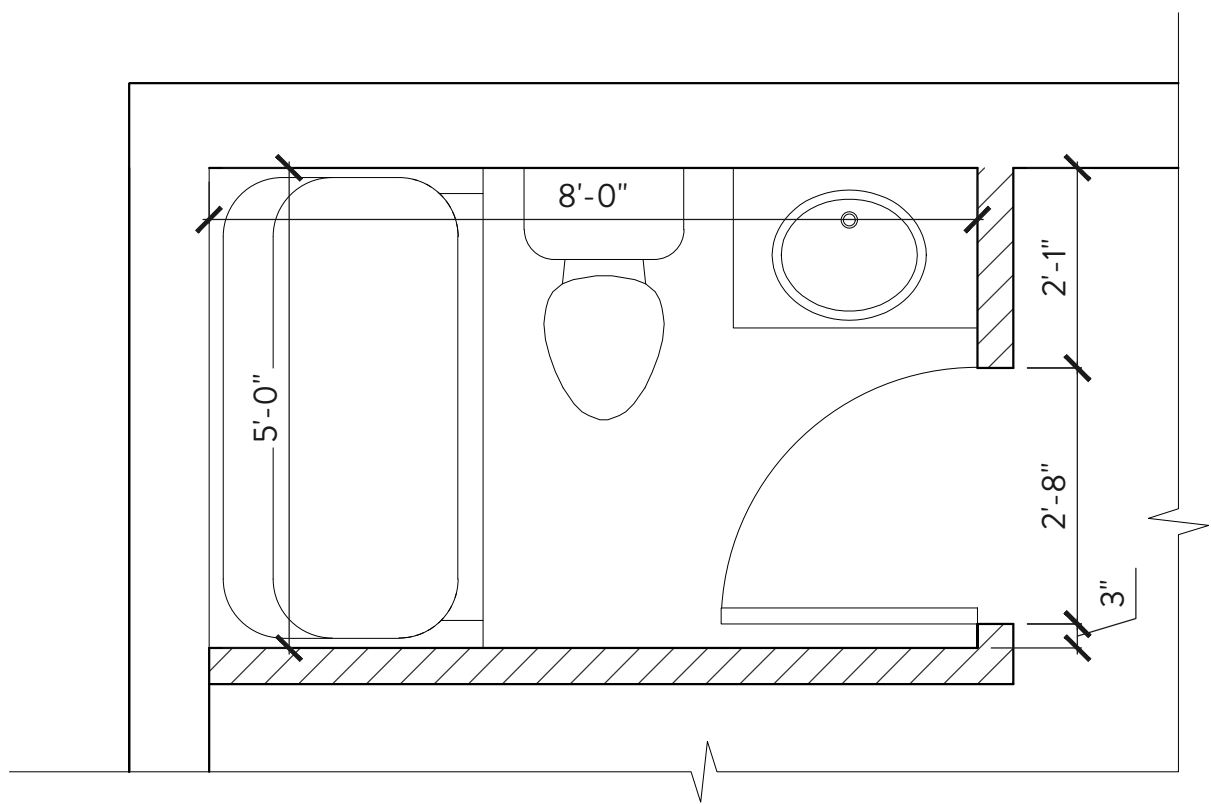
PROPOSED
ROOF PLAN

SHEET #

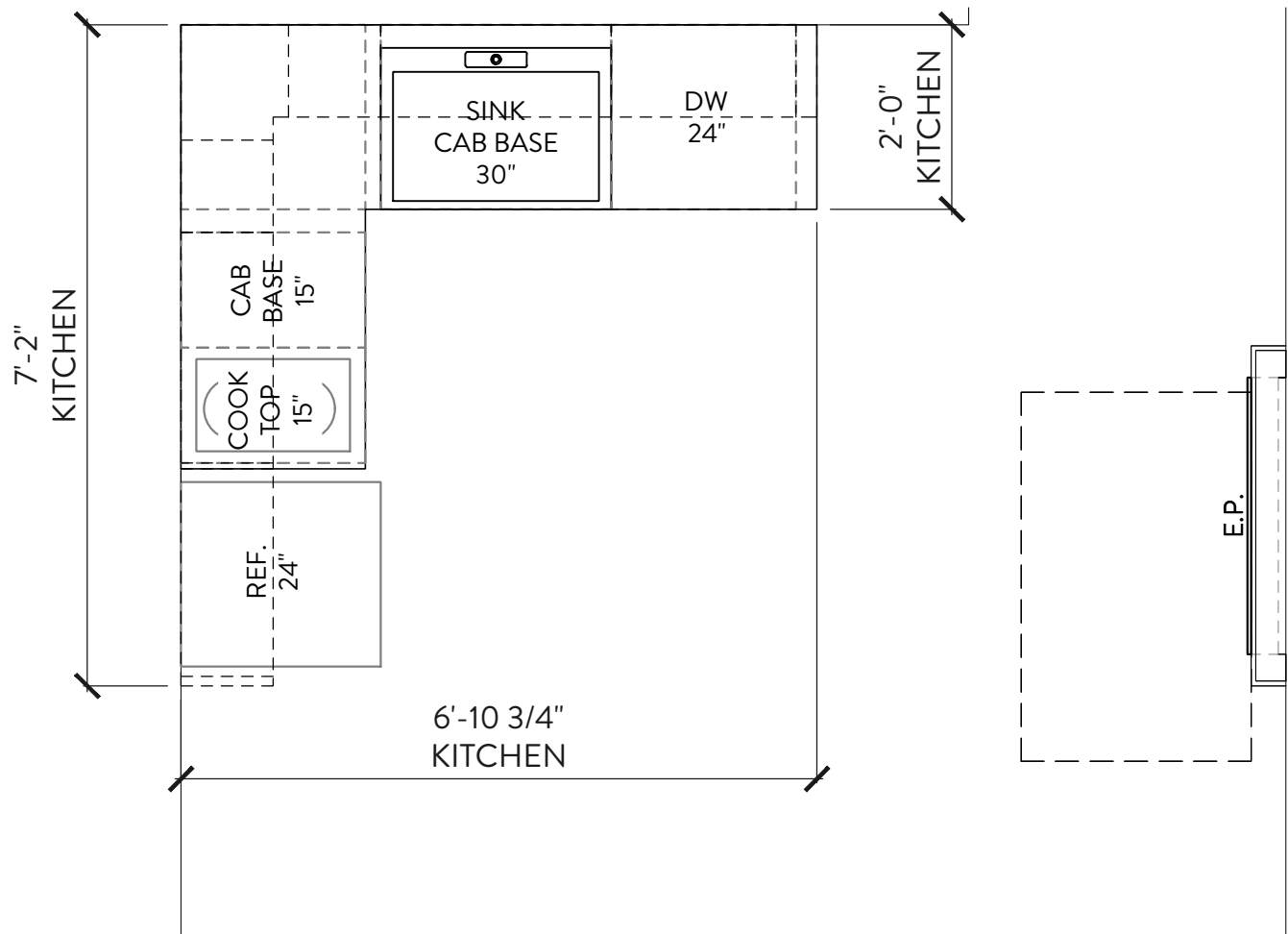
A-110

JOB #: 00000.00
DATE: 12.28.2023
RE: PERMIT SET

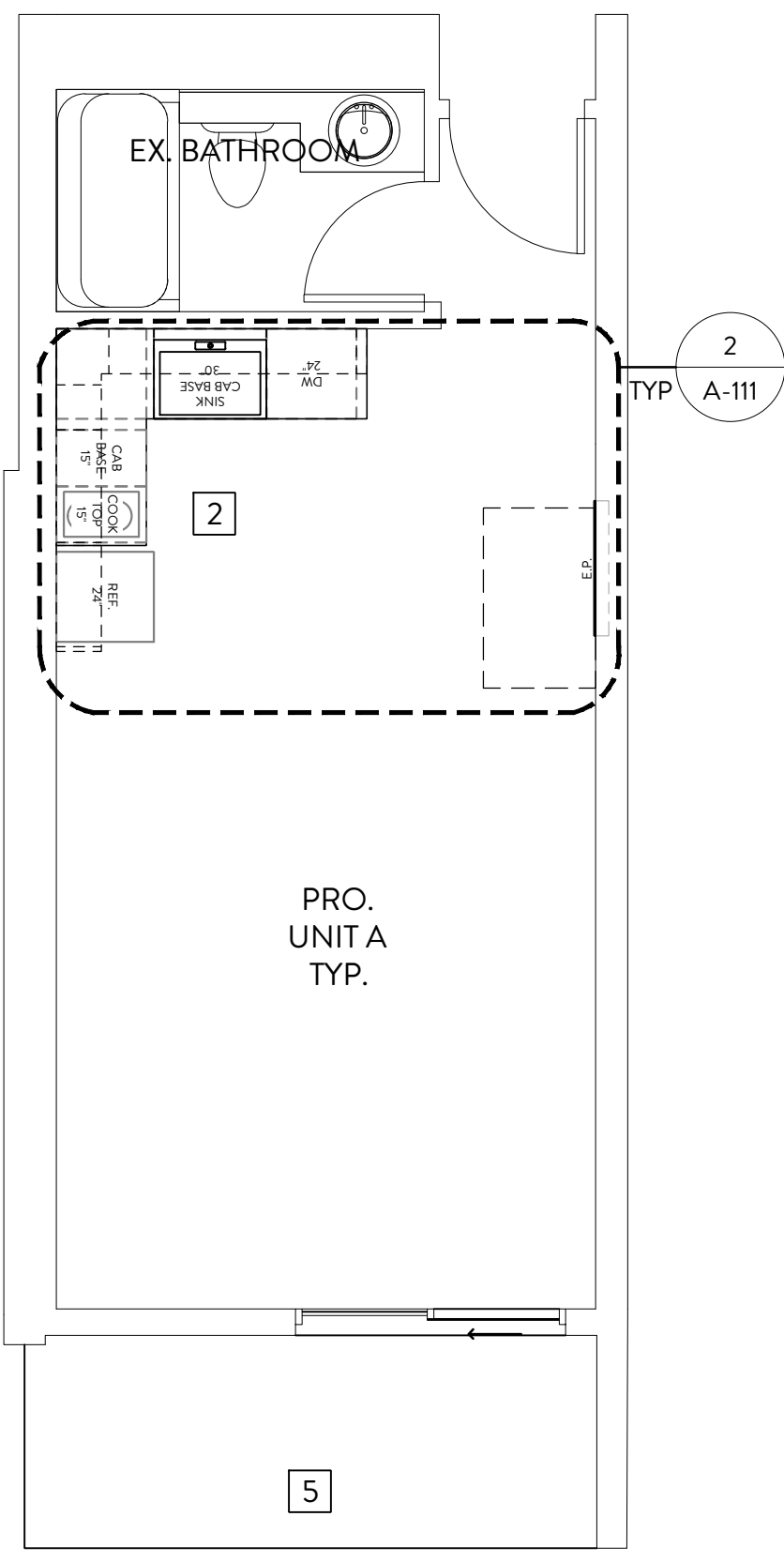
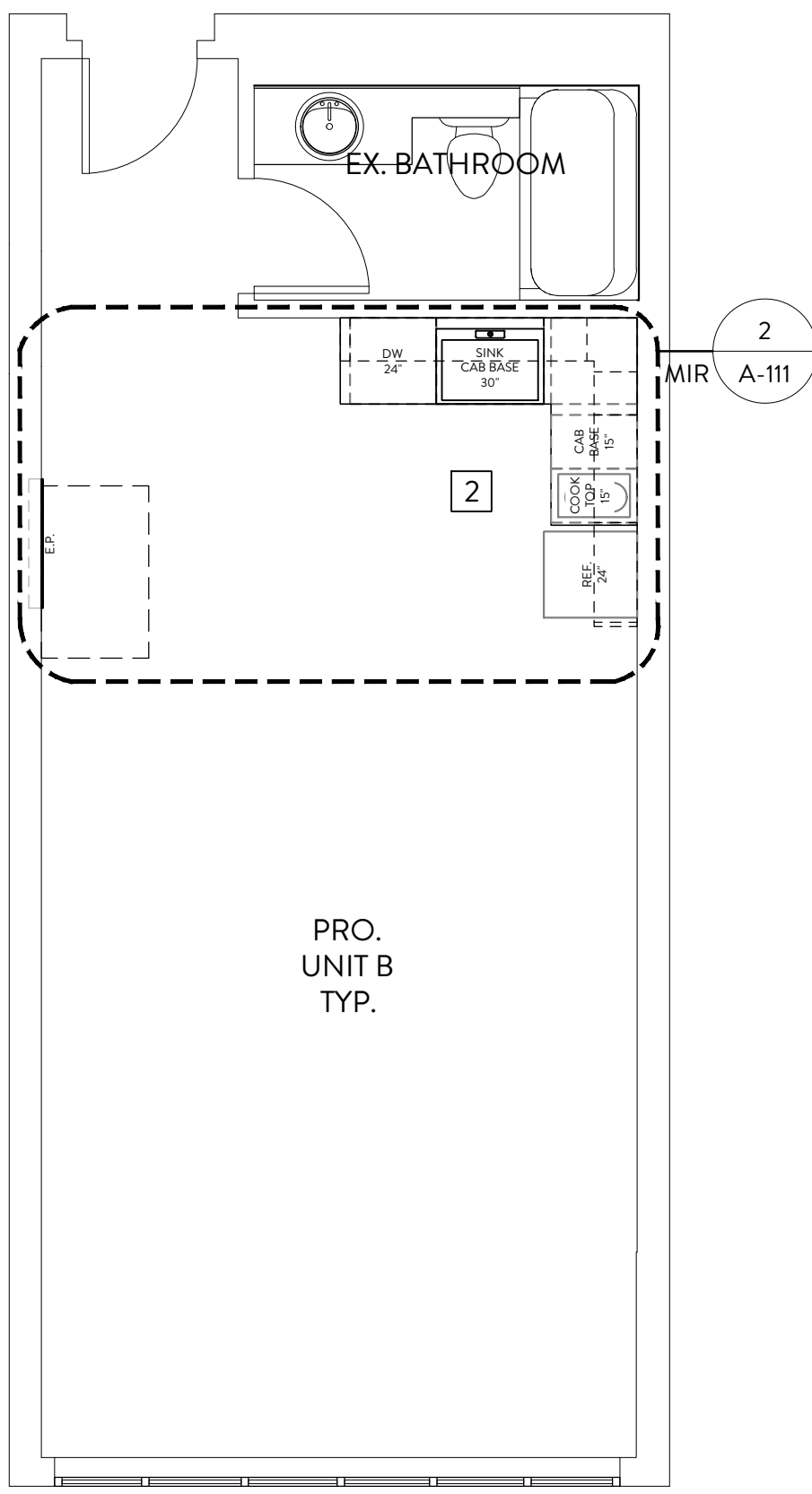
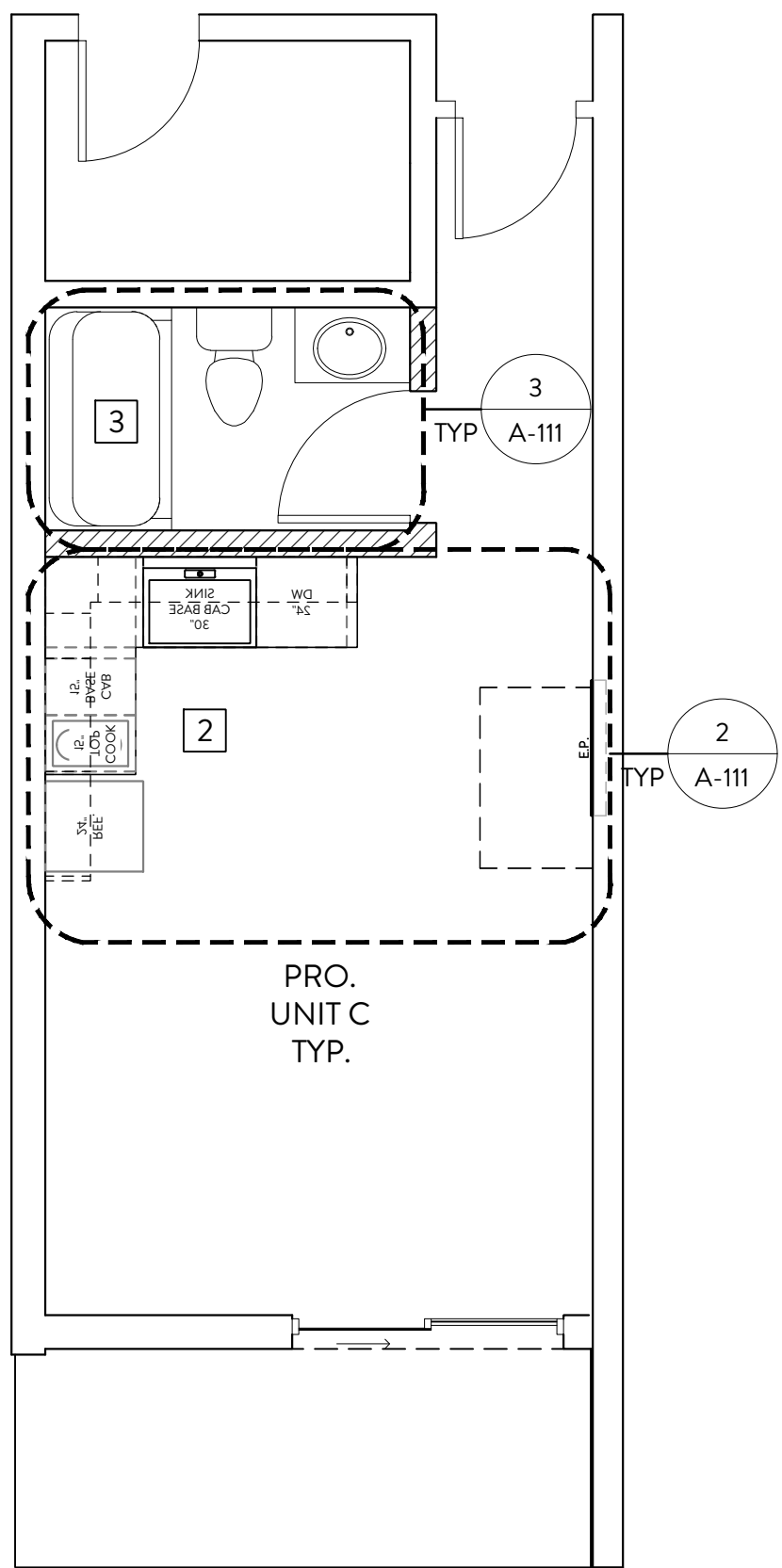
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3 TYP. NEW BATHROOM ENLARGED PLAN
SCALE: 1/2"=1'-0" @ 24"x36" OR 1/8"=1'-0" @ 12"x18"



2 TYP. CORNER KITCHEN ENLARGED PLAN
SCALE: 1/2"=1'-0" @ 24"x36" OR 1/8"=1'-0" @ 12"x18"



1 TYPICAL UNIT TYPES
SCALE: 1/4"=1'-0" @ 24"x36" OR 1/8"=1'-0" @ 12"x18"



TYP. KITCHEN PLAN NOTE	GENERAL PLAN NOTES
<ul style="list-style-type: none">THE DESIGN INTENT IS TO REUSE ALL EXISTING PARTITIONS UNLESS OTHERWISE NOTED. GC TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. GC SHALL NOTIFY ARCHITECT & OWNER OF DISCREPANCIES ARE DISCOVERED.	<ul style="list-style-type: none">ALL DIMENSIONS ARE TAKEN FROM F/ STUD/BLOCK NEW & F/ WALL EXISTING.IF DISCREPANCIES ARE FOUND OR IF ANY DRAWING IS UNCLER GC SHALL NOTIFY ARCHITECT AND BE GIVEN DIRECTION OR CLARIFICATION PER THE ORIGINAL DESIGN INTENT BY THE ARCHITECT BEFORE PROCEEDING WITH AFFECTED WORK.GC SHALL FIELD VERIFY ALL DIMS AND EXIST. COND. PRIOR TO CONSTRUCTION
ELECTRICAL PANEL NOTE	CONSTRUCTION NOTES
ALL R-2 UNIT ELECTRICAL PANELS SHALL BE STACKED 1ST & 2ND FLOORS. PENETRATE 2ND FLOOR CEILING BEHIND PANEL INSIDE FURRING AND SLAB BETWEEN 1ST & 2ND FLOORS. PENETRATION SIZED FOR MINIMUM OPENING, AFTER INSTALLATION FILL ANY GAPS WITH FIRE SEALANT.	<ul style="list-style-type: none">EXISTING BUILDING PROTECTED BY EXISTING NFPA 13R AUTOMATIC FIRE SPRINKLER SYSTEM. ALL AREAS RECEIVING ALTERATIONS SHALL BE PROTECTED AS REQUIRED PER FBC 903.3.12EXISTING 60 MINUTE FIRE SEPARATION SHALL REMAIN BETWEEN ALL R2 UNITS, ACCESSORY USES, AND CORRIDOR WALLS. REPAIR EXISTING MEMBRANES AS REQUIREDNEW PLUMBING EQUIPMENT TO REPLACE EXISTING SHALL BE IN THE SAME LOCATION & REUSE EXIST SLAB OPENINGS. BUILDING SANITARY SYSTEM TO BE REUSEDINTERIOR LIGHT FIXTURES SHALL BE SURFACE MOUNTED.
PROPOSED PLAN NOTE	
1 NEW UNIT DOOR, REF. A-701 FOR WINDOW SCHEDULE AND DETAIL.	
2 TYP. CORNER KITCHEN, REF. A-111	
3 TYP. NEW BATHROOM, REF. A-114	
4 NEW BATHROOM DOOR, REF. A-701 FOR WINDOW SCHEDULE AND DETAIL.	
5 REPAIR EXISTING BALCONY GUARD SYSTEM PER 2020 FBC REF. STRUCTURAL	
LEGEND	
C	WINDOW TAG - REFER TO SHEET A-701
1102	DOOR TAG - REFER TO SHEET A-701
A	WALL TAG -
RATED WALL	
■	RATED WALL ASSEMBLY
WALL TYPE LEGEND	
USE MOISTURE/MOLD RESISTANT GWB & PT WOOD OR GALV. LG. STL. FRAMING AT ALL WET OR UNCOND. LOCATIONS, TYP.	
A	(1) LAYER TYPE X GWB ON 2X4 STUD STAGGERED 8" O.C. W/ 3-1/2" BATT IN CAVITY & (1) LAYER TYPE X 5/8" GWB OTHER SIDE - MATCH EXISTING WALL THICKNESS. MIN. 30 MIN. FIRE RATED WALL.
B	(1) LAYER GWB EACH SIDE ON 2X4 STUD 16" O.C.
C	(1) LAYER TYPE X GWB ON 2X4 STUD STAGGERED 8" O.C. W/ 3-1/2" BATT IN CAVITY & (1) LAYER TYPE X 5/8" GWB EACH SIDE - MATCH EXISTING WALL THICKNESS. MIN. 1 HOUR FIRE RATED WALL.
D	FILL EXISTING OPENING TO MATCH EXISTING EXTERIOR WALL



THE TEALE - GOLDEN GATE
BUILDING

4110 GOLDEN GATE PKWY
ANNAPOLIS, MD 21403

SHEET TITLE

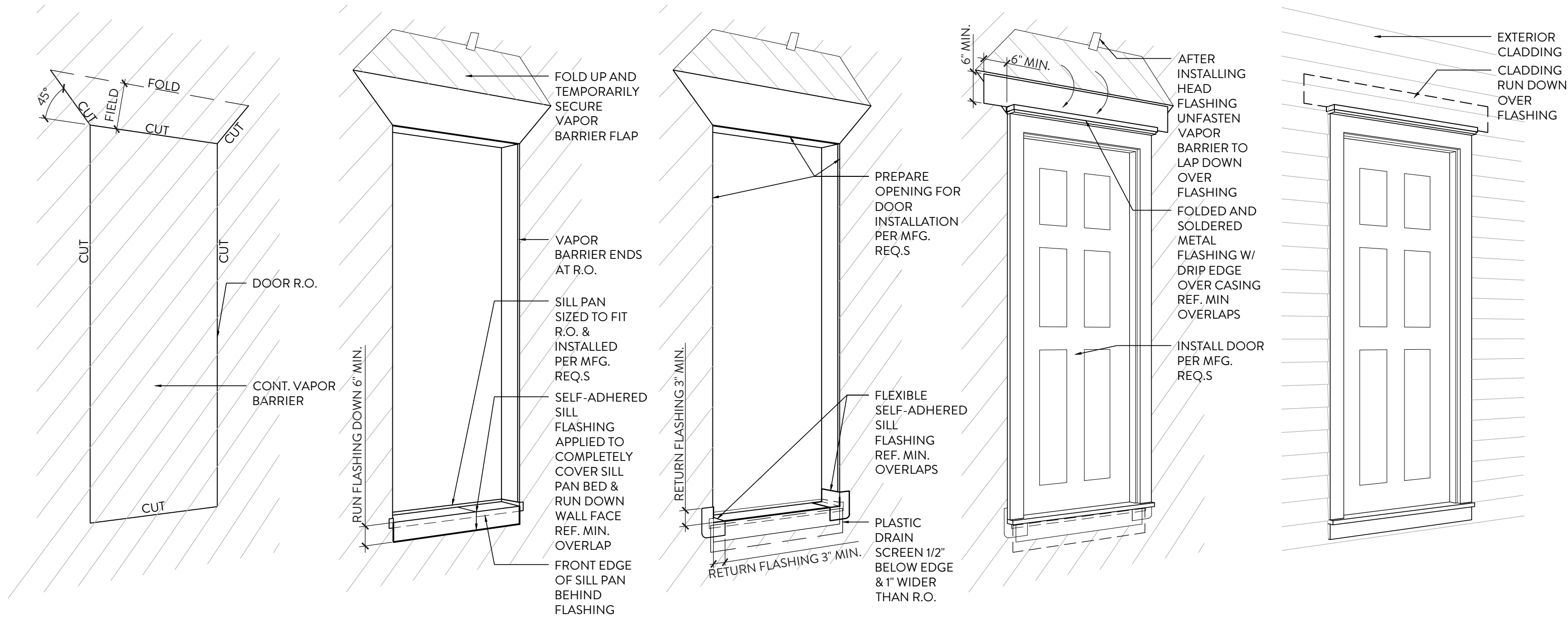
TYPICAL
R. UNIT TYPES

SHEET #

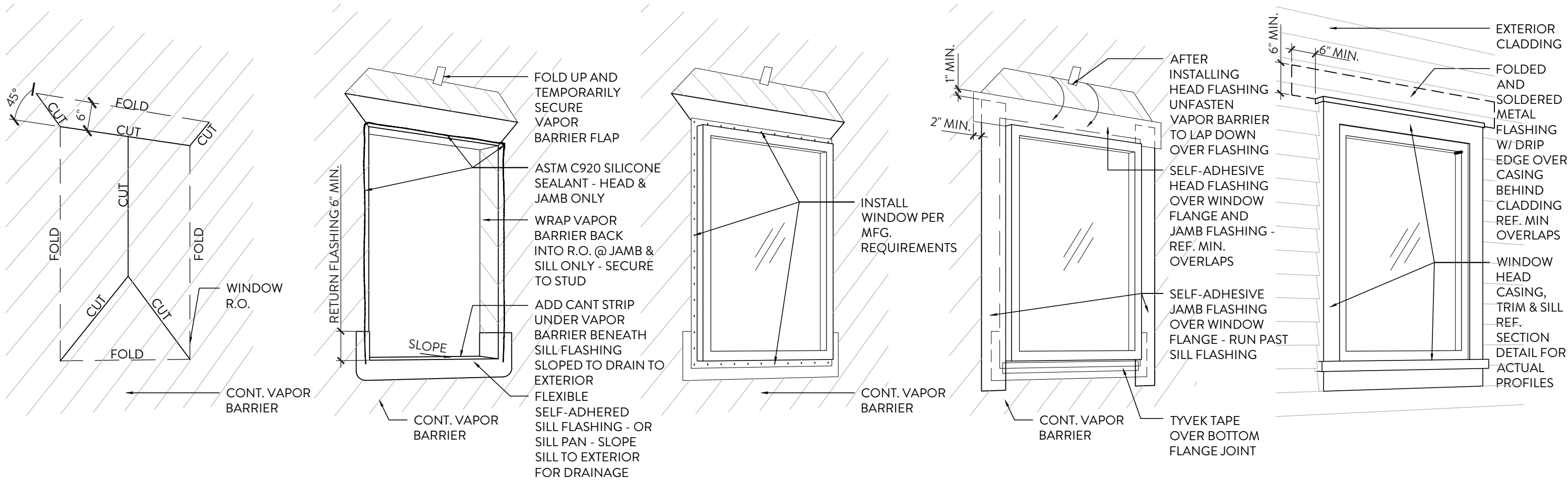
A-111

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4 PRE-HUNG EXTERIOR DOOR FLASHING DETAIL
SCALE: NTS

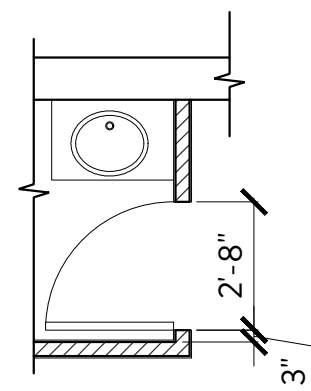


3 INTEGRAL FIN WINDOW FLASHING DETAIL
SCALE: NTS

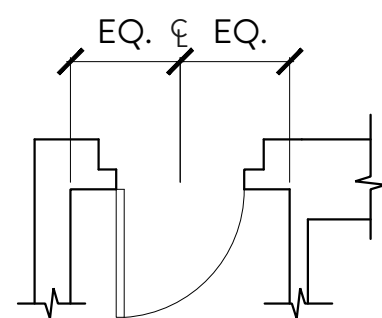
DOOR SCHEDULE - BUILDING A												
TAG	DOOR						FRAME		FIRE RATING	HDW	REMARKS	
	DOOR SIZE	INT/EXT	HDR	TYPE	MATL	GLAZ	TYPE	MATL				
101 103 105 107 109 111 114 115 119 121 123 125 128 129	2'-8" X 6'-8"	INT	6'-8"		WOOD	NA		WOOD	NR	#2	NEW UNIT BATHROOM DOOR	
102 104 106 108 110 112 113 116 117 118 120 122 124 126 127	2'-8" X 6'-8"	INT	6'-8"		MTL	NA		MTL	45 MIN	#1	NEW UNIT DOOR	
201 202 206 207 209 211 214 215 219 221 222 224 229 228	2'-8" X 6'-8"	INT	6'-8"		WOOD	NA		WOOD	NR	#2	NEW UNIT BATHROOM DOOR	
203 204 205 208 210 212 213 216 217 218 220 223 225 226 227	2'-8" X 6'-8"	INT	6'-8"		MTL	NA		MTL	45 MIN	#1	NEW UNIT DOOR	
301 302 306 307 309 311 314 315 319 321 322 324 327 328	2'-8" X 6'-8"	INT	6'-8"		WOOD	NA		WOOD	NR	#2	NEW UNIT BATHROOM DOOR	
303 304 305 308 310 312 313 316 317 318 320 323 325 326	2'-8" X 6'-8"	INT	6'-8"		MTL	NA		MTL	45 MIN	#1	NEW UNIT DOOR	
401 402 406 407 409 411 414 415 419 421 423 425 428 429	2'-8" X 6'-8"	INT	6'-8"		WOOD	NA		WOOD	NR	#2	NEW UNIT BATHROOM DOOR	
403 404 405 408 410 412 413 416 417 418 420 422 424 426 427	2'-8" X 6'-8"	INT	6'-8"		MTL	NA		MTL	45 MIN	#1	NEW UNIT DOOR	

- NOTES:
- EXISTING DOORS TO REMAIN IN ALL LOCATIONS WHERE LAYOUTS REMAIN UNCHANGED
 - ALL EXTERIOR GLAZING TO BE USED IN THIS PROJECT SHALL COMPLY WITH ASTM E1996 STANDARD SPECIFICATION FOR PERFORMANCE OF EXTERIOR WINDOWS, CURTAIN WALLS, DOORS, AND IMPACT PROTECTIVE SYSTEMS IMPACTED BY WINDBORNE DEBRIS IN HURRICANES WIND ZONE 4
 - ALL DOOR GLAZING SHALL BE IMPACT RESISTANT OR TEMPERED
 - GC FIELD VERIFY EXISTING CEILING/OPENING HEIGHTS FOR ALL DOORS IN EXISTING CONSTRUCTION
 - EXISTING DOORS TO REMAIN WHERE LAYOUT REMAINS UNCHANGED.

DOOR HARDWARE				
SET # 1 (R-2-EXTERIOR)	SET # 2 (R-2 BATH)	SET # 3 (SLIDING CLT.)	SET # 4 (MAINTENANCE /STO)	SET # 5
<ul style="list-style-type: none">ACCESSIBLE HAND-SETDEADBOLT - EXT.MECH. CLOSERWIDE ANGLE VIEWERCHAIN DOOR GUARDEVACUATION MAP FRAMEKEYCARDEGRESS	<ul style="list-style-type: none">ACCESSIBLE HAND-SETPRIVACY LOCKSET	<ul style="list-style-type: none">BI-PASS SLIDING CLOSET DOOR TRACK KITRECESSED SLIDING CLOSET DOOR PULL SET	<ul style="list-style-type: none">ACCESSIBLE HAND-SETDEADBOLTMECH. CLOSERKICK-PLATE EA. SIDE	<ul style="list-style-type: none">ACCESSIBLE VERTICAL PULLPUSH PLATEMECH. CLOSER
SET # 6 (FITNESS/ OFFICE)	SET # 7 (EGRESS)	SET # 8 (R-2 BALCONY)		
<ul style="list-style-type: none">ACCESSIBLE HANDLE-SETDEADBOLT -KEY EXT/INTMECH. CLOSERKEYCARD	<ul style="list-style-type: none">PANIC INT.ACCESSIBLE HANDLE-SET EXT.DEADBOLTMECH. CLOSERKEYCARDEGRESS	<ul style="list-style-type: none">DEADBOLT - EXIT.RECESSED SLIDING BALCONY DOOR PULL SET		



2 NEW BATHROOM DOOR DETAIL
SCALE: NTS



1 NEW UNIT DOOR DETAIL
SCALE: NTS