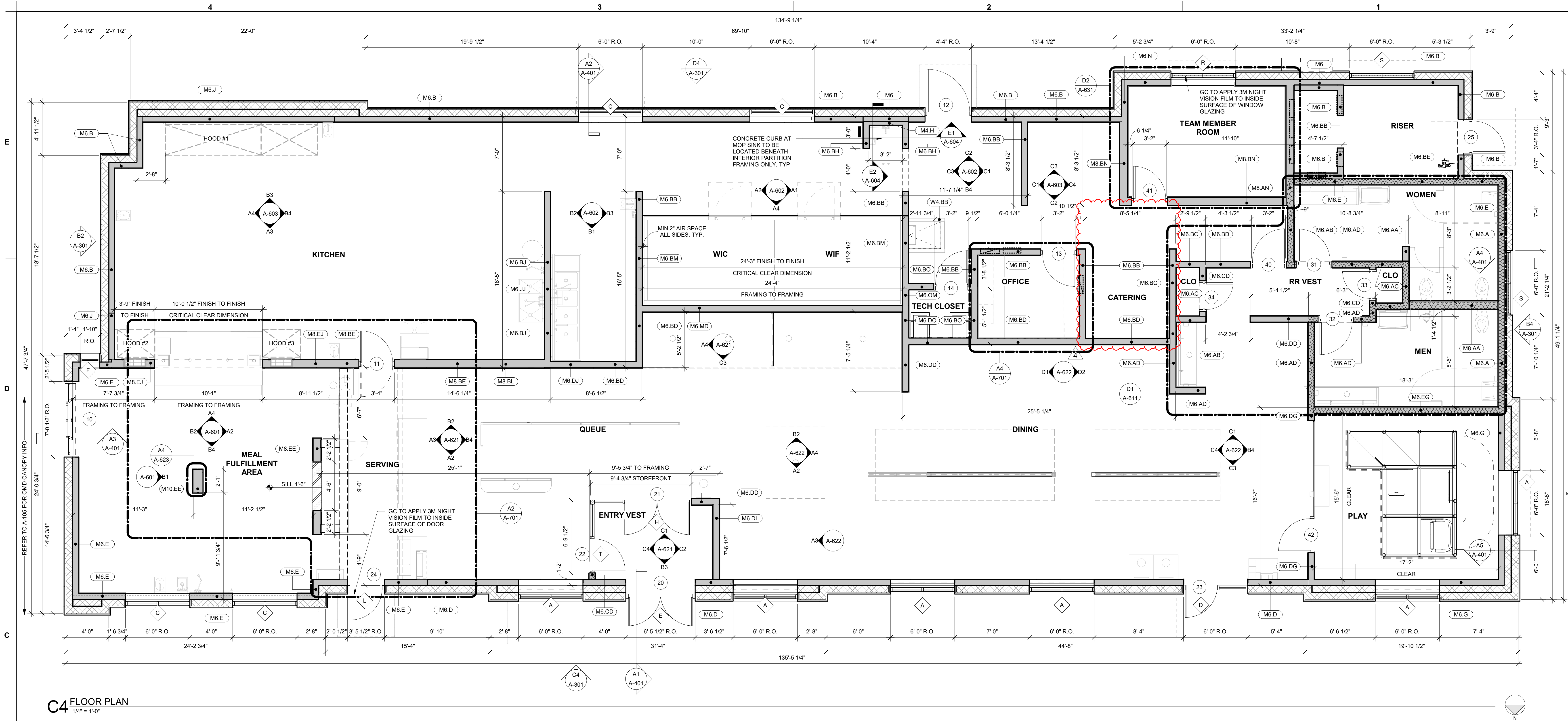
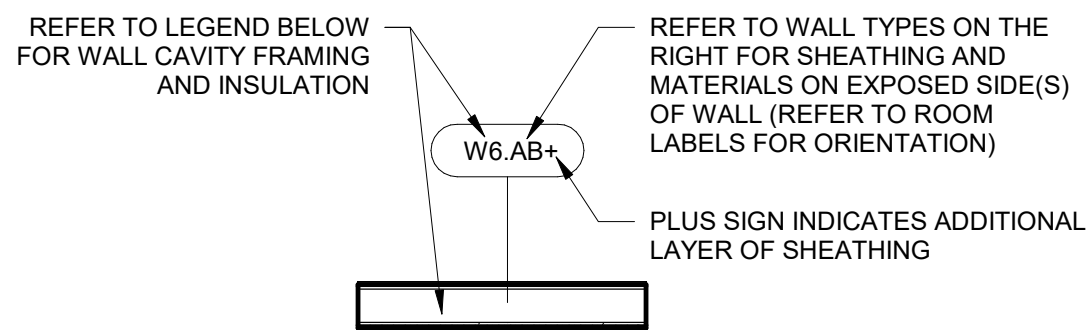




C4 FLOOR PLAN
1/4" = 1'-0"



WOOD STUD WALL
W4
W6
W8

METAL STUD WALL
M4
M6
M8

BATT INSULATION

NOTE 1: WALL BLOCKING SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY. BLOCKING SHALL INCLUDE, BUT IS NOT LIMITED TO: AREAS INDICATED ON INTERIOR ELEVATIONS FOR GRAB BARS, SHELVING BRACKETS, MONITORS, FIXTURES, ETC., AS WELL AS BLOCKING FOR WINDOWS, CANOPIES ROOF FRAMING, ROOF TOP UNITS, ETC.

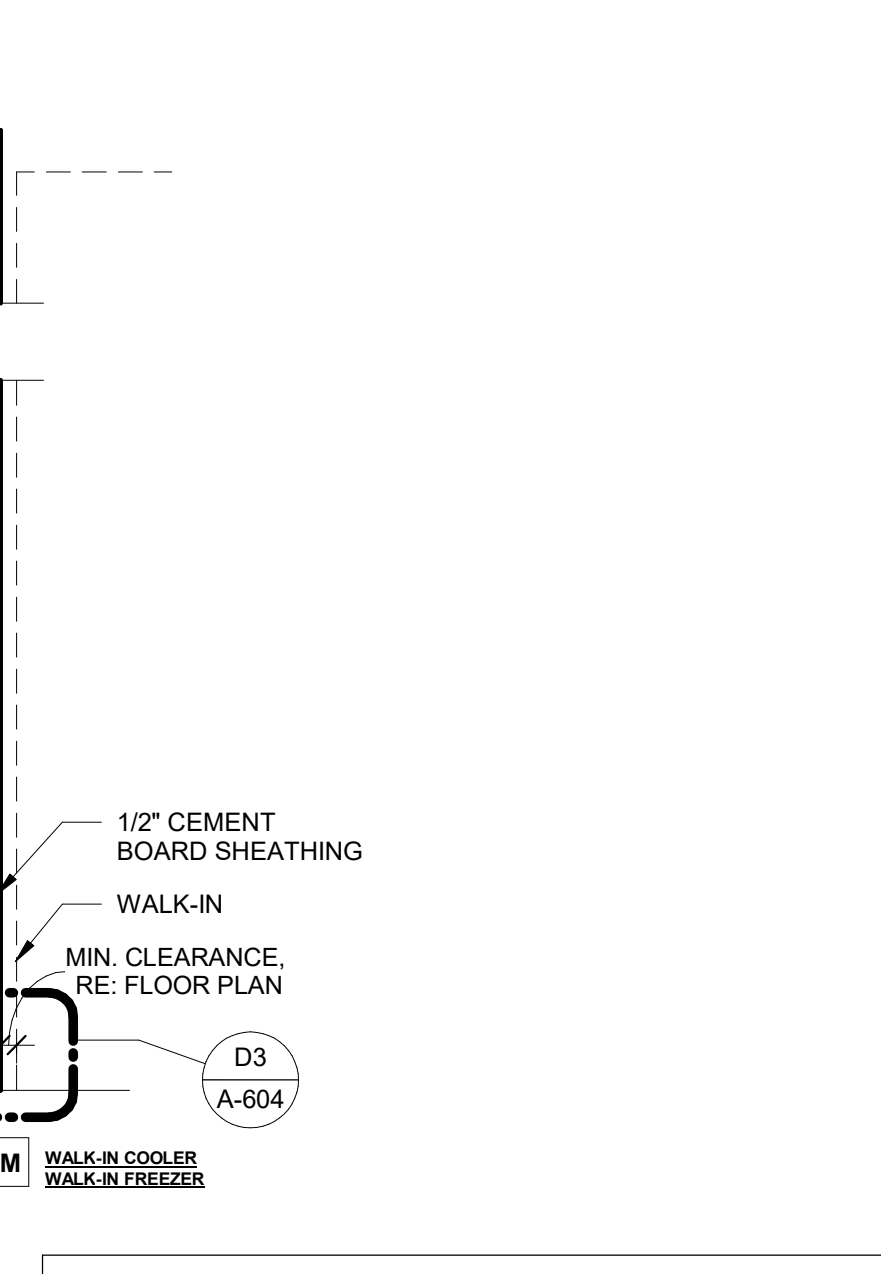
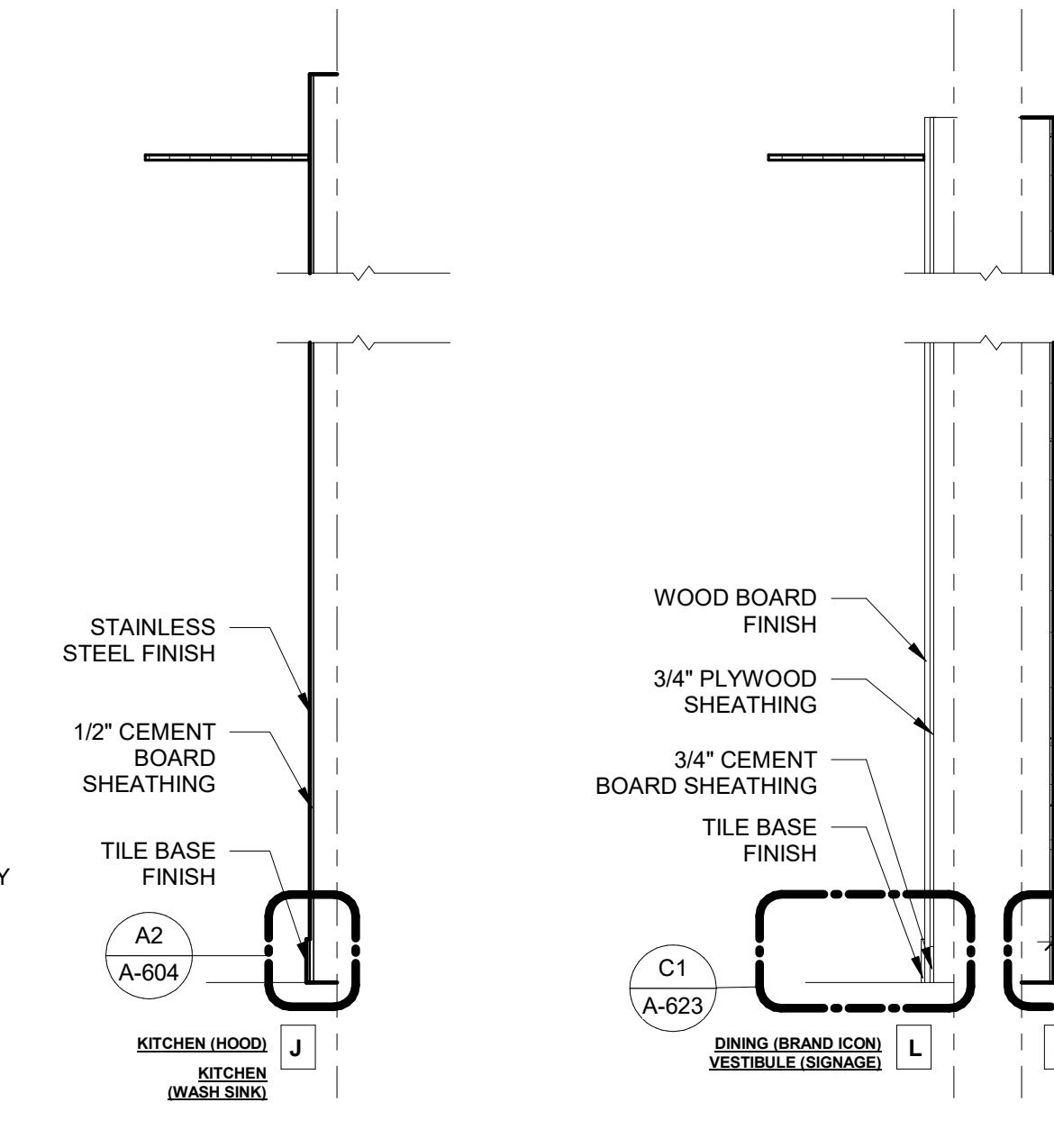
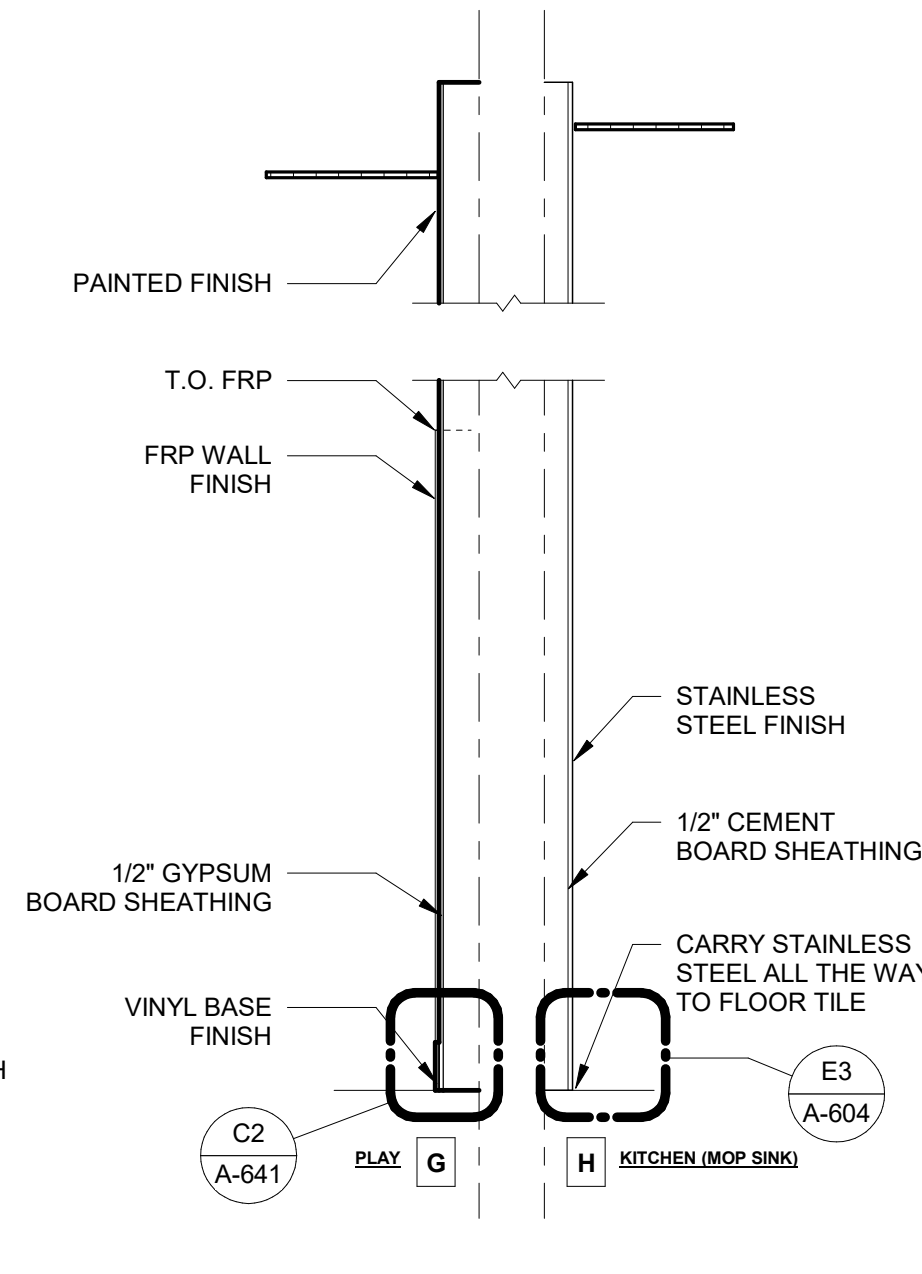
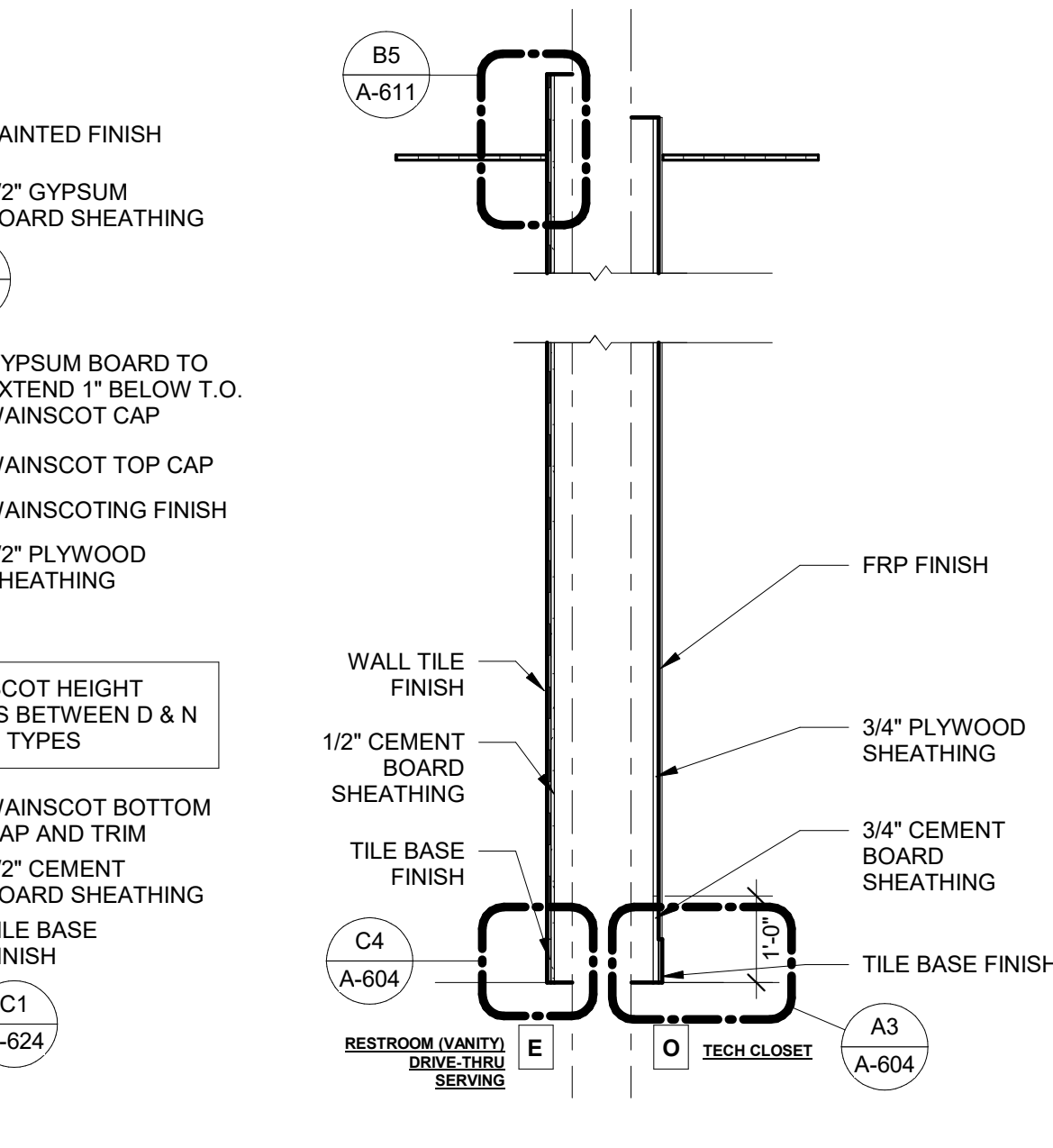
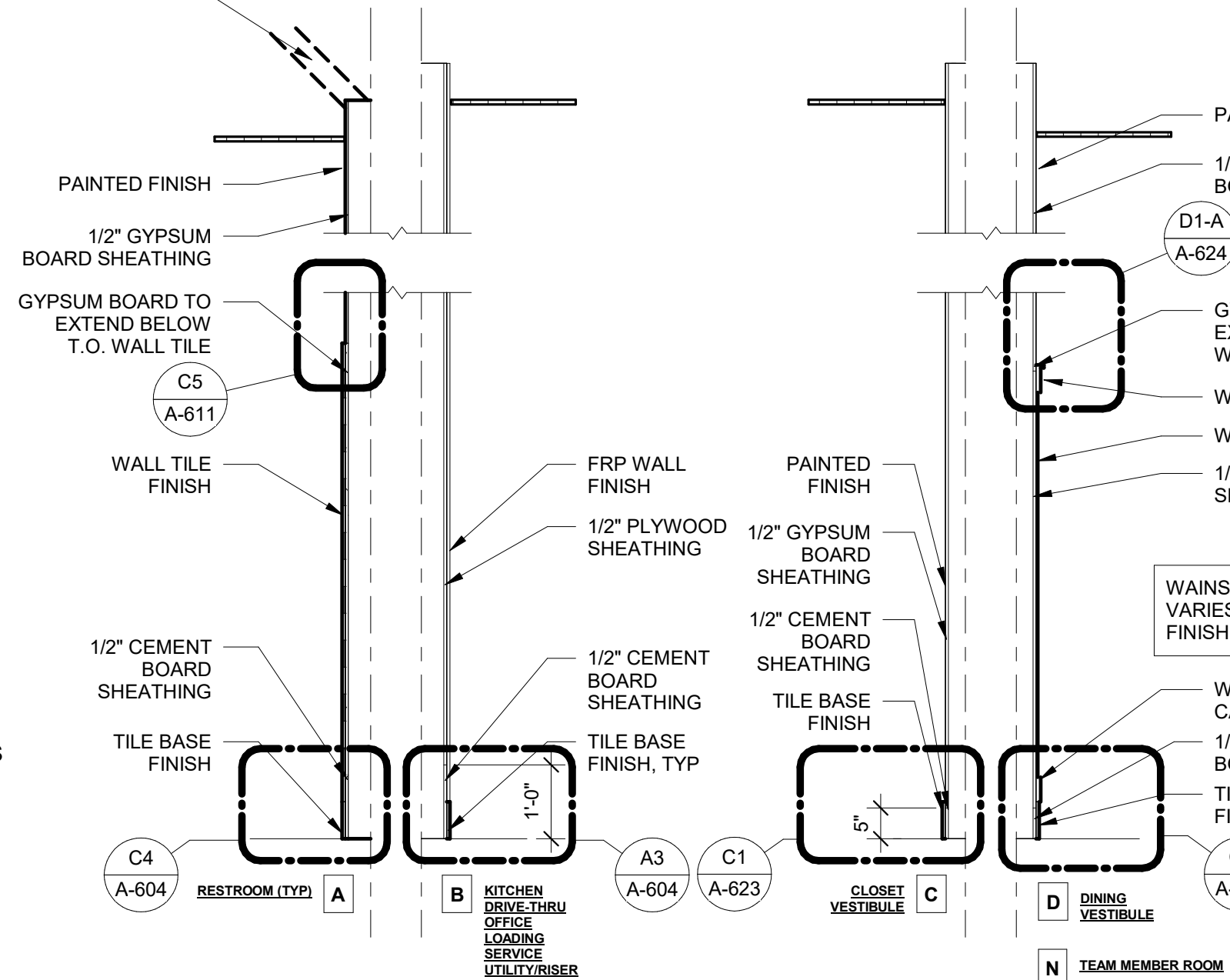
NOTE 2: REFER TO STRUCTURAL DRAWINGS AND WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION.

NOTE 3: REFER TO FINISH PLAN FOR WALL FINISH INFO AND SPECIFICATIONS FOR WALL SHEATHING INFO. DIMENSIONS SHOWN ARE FROM FLOOR FINISH, TYP.

NOTE 4: GENERAL CONTRACTOR TO PROVIDE AND/OR VERIFY FIRE BLOCKING AT 10' MAX VERTICAL SPACING AND AT CEILING HEIGHT IN ALL COMBUSTIBLE STUD WALLS, ACCORDING TO LOCAL CODE REQUIREMENTS.

WALL TYPES LEGEND
N.T.S.

BRACE INTERIOR PARTITIONS AS REQUIRED FOR COMPLIANCE WITH LOCAL BUILDING CODE.



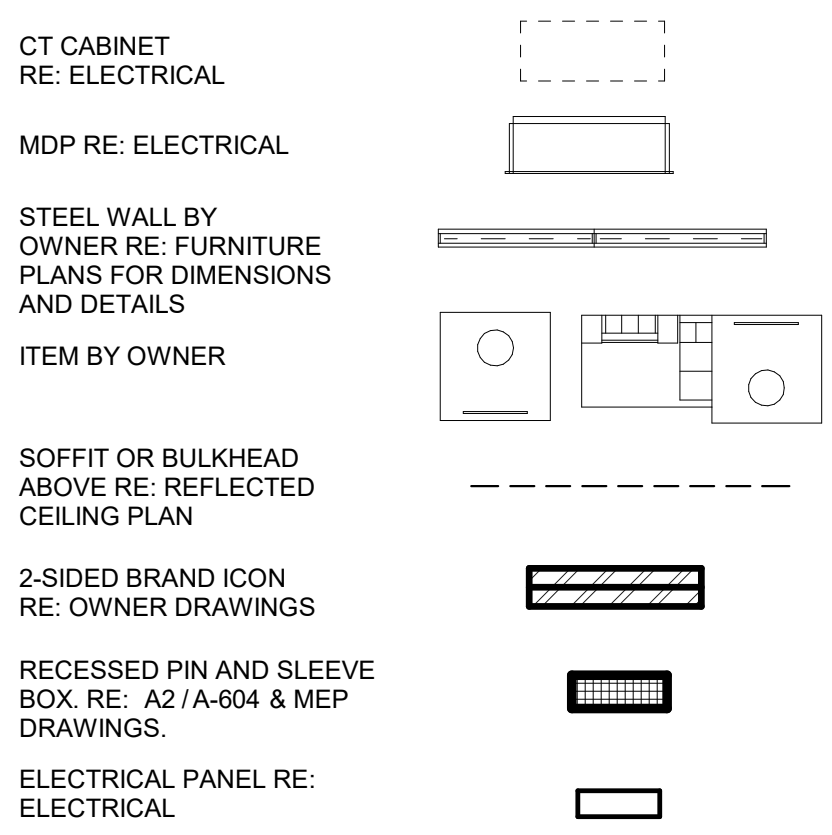
INSULATION SCHEDULE	
LOCATION	R-VALUE
ROOF	R-20
WALL (CONTINUOUS)	R-5
WALL (CAVITY)	R-19 IN 6\" STUDS R-25 IN 8\" STUDS
SLAB	NOT REQUIRED

NOTES:
1. REFER TO FLOOR PLAN AND WALL SECTION SHEETS FOR INSULATION EXTENTS AND LOCATIONS.
2. REFER TO SPECIFICATIONS FOR INSULATION PRODUCT INFORMATION.

FLOOR PLAN GENERAL NOTES

- A.1 ALL DIMENSIONS SHOWN ARE FRAMING DIMENSIONS (FACE OF STUD/JAMB) UNLESS OTHERWISE NOTED.
A.2 FASTENERS, ANCHORS, CLIPS, STRAPS, ETC WHICH ARE IN CONTACT WITH PRESERVATIVE AND/OR FIRE TREATED WOOD SHALL BE OF G-185 HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, OR AN APPROVED EQUAL.
A.3 REFER TO CIVIL AND LANDSCAPE FOR LOCATIONS OF WALKS, BOLLARDS, LANDSCAPING AREAS, FLAG POLE, AND OTHER SITE ITEMS.
A.4 REFER TO INTERIOR ELEVATIONS FOR LOCATIONS AND TYPES OF CORNER GUARDS.
A.5 CONTRACTOR TO COORDINATE LOCATION OF POLE MOUNTED EXTERIOR CAMERA WITH STRONG SYSTEMS AND INSTALL UNDERGROUND CONDUIT AS REQUIRED. RE: ELECTRICAL.
A.6 REFER TO ACCESSIBILITY PLAN AND FURNITURE DRAWINGS FOR SEATING LAYOUT & SPECIFICATIONS. CONTACT: OWNER.
A.7 REFER TO ACCESSIBILITY PLAN AND OWNER DRAWINGS FOR CONDIMENT COUNTERS AND TRASH RECEPTACLES.
A.8 REFER TO IT WALLBOARD USER GUIDE FOR WALLBOARD INSTALLATION, IF APPLICABLE.
A.9 REFER TO MILLWORK PLAN FOR RAISED CONCRETE CURB LOCATIONS.
A.10 FREEZER AND COOLER DOORS AND HARDWARE SUPPLIED BY FREEZER/COOLER MANUFACTURER.

FLOOR PLAN LEGEND:

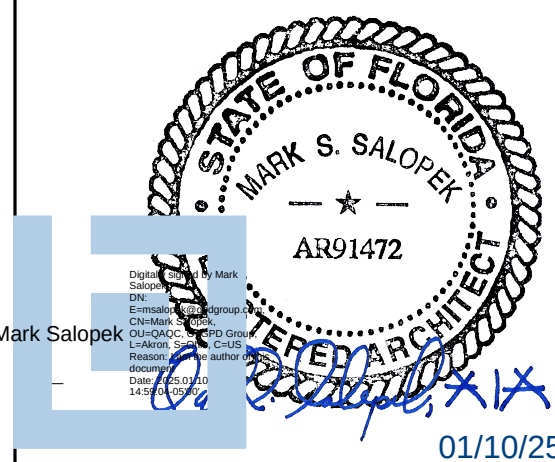


Chick-fil-A

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Phone 330.512.2112



CHICK-FIL-A
CITY GATE

3819 WHITE LAKE BLVD.
NAPLES, FL 34117

FSR#05695

BUILDING TYPE / SIZE: P14 LE XP
RELEASE: 23-11

PRINTED FOR
ISSUED FOR CONSTRUCTION

REVISION SCHEDULE	
NO.	DATE
4	01/10/25

DESCRIPTION
BULLETIN 4

CONSULTANT PROJECT # 202323.77
DATE 08/16/24

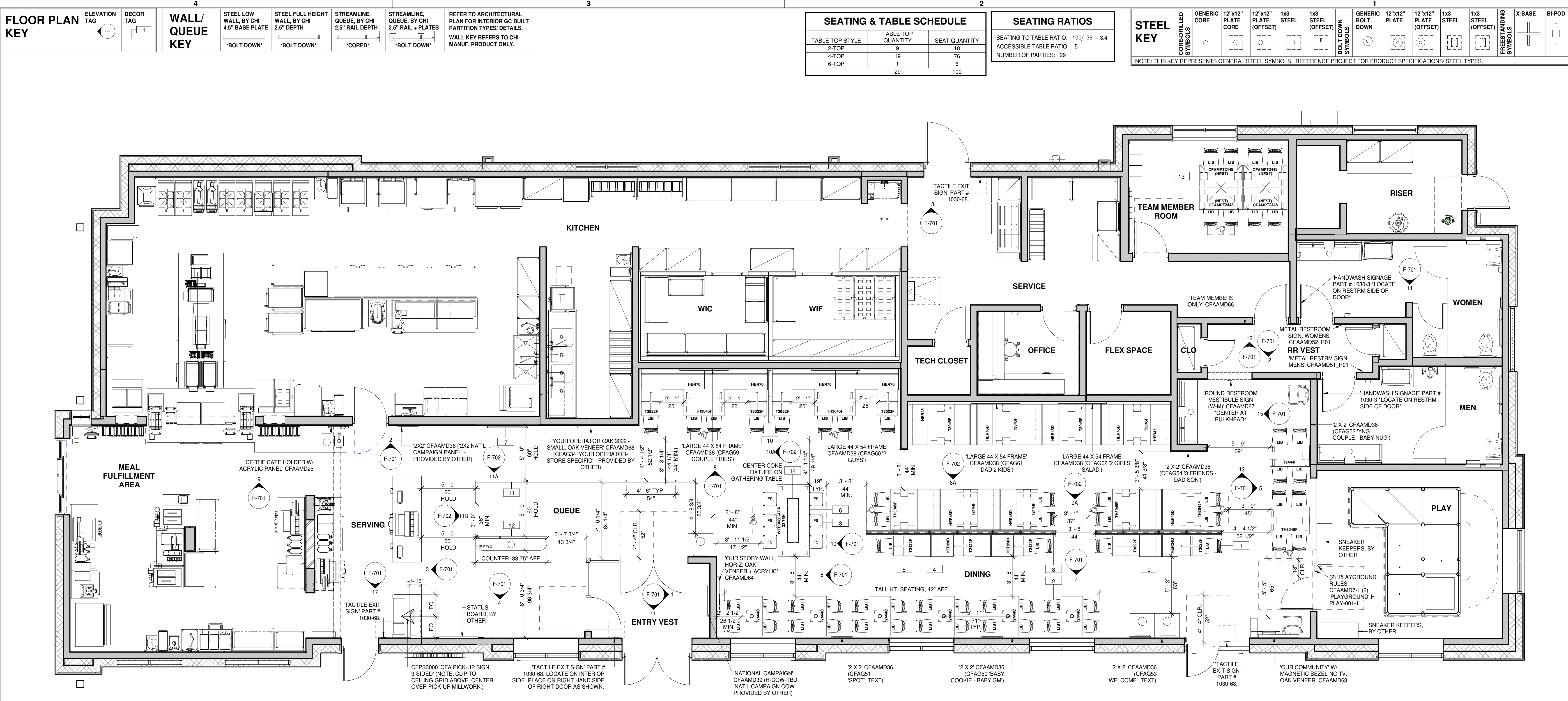
DRAWN BY SC
DATE 08/16/24

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FLOOR PLAN

SHEET NO.

A-201



1 FURNITURE FLOOR PLAN
1/4" = 1'-0"

Chick-fil-A

STORE #: 05695 BLDG SHELL: P14 LE XP

LOCATION: 3819 WHITE LAKE BLVD NAPLES, FL

NICKNAME: CITY GATE

DESIGN: EB FDD SET: --- CHECKED: JK

PROJECT MGR: JORDAN KOPP

SALES MGR: JULIA WOODWARD

SET ISSUED DATE: 12/18/23

DRAWING TITLE: FURNITURE FLOOR PLAN

Project Contacts

PLEASE CONTACT ONE OF THE FOLLOWING CH TEAM MEMBERS TO ADDRESS CONCERNS YOU MAY HAVE.

CHARTER HOUSE HOLDINGS, LLC
200 N. Franklin Street | Zeeland, MI 49464
Phone: 616.399.6000 | Fax: 616.796.1199

Regional Sales Manager: Julia Woodward
Phone: 404.784.2950
Email: cfa@charter-house.com

Project Management Team:
Allison Marsh Phone: 616.796.1159
Jami Fraser Phone: 616.796.1178

Customer Service Inquiries:
Phone: 616.796.1020

CHI Project Log

DATE	#	DESCRIPTION	INITIALS
12.11.23		DD DRAWING SET ISSUED	EB
04.25.24	1	PERMIT SET	EB
07.11.24	2	CONSTRUCTION SET	RK
08.00.00	3	---	---
08.00.00	4	---	---
08.00.00	5	---	---
08.00.00	6	---	---
08.00.00	7	---	---

FURNITURE SHEET INDEX

Sheet Number	Sheet Name
F-201	FURNITURE FLOOR PLAN
F-211	FURNITURE CORE DRILL PLAN
F-701	DECOR ELEVATIONS
F-702	FURNITURE PRODUCT DETAILS

CONDIMENTS AND TRASH ARE NOTED FOR SPACE PLANNING PURPOSES. EXACT MODELS AND DETAILS OF THOSE ITEMS TO BE DETERMINED BY THE MILLWORK PROVIDER, CLAYTON FIXTURES (CFX).

BUILDING SHELL USED FOR FURNITURE PLANS PROVIDED BY SITE ADAPT ARCHITECT.
VERIFY DINING ROOM DIMENSIONS FOR FURNITURE & MESSAGING.

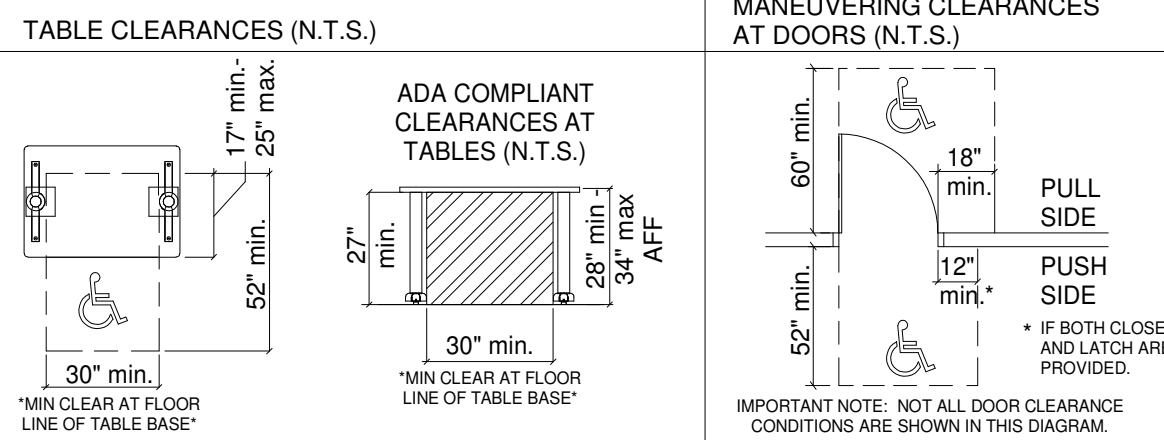
SEATING LAYOUT PROVIDED BY ARCHITECT. ARCHITECT IS RESPONSIBLE FOR SEATING PLAN MEETING CODE REQUIREMENTS (LOCAL OR OTHER)

SEATING & DECOR KEY

1 LIBRARY CHAIR, STANDARD	8 STEEL LOW WALL
2 LIBRARY CHAIR, TALL	9 STEEL LOW WALL
3 FARM STOOL - 22" HEIGHT	10 STEEL FULL HEIGHT WALL
4 HERITAGE BOOTH BANQUETTE	11 STREAMLINE QUEUE
5 TABLES (TYP)	12 MOBILE PERCH QUEUE RAIL
6 GATHERING TABLE, 6-TOP "ACCESSIBLE"	13 MULTI-PURPOSE TABLE
7 BRAND ICON, ONE-SIDED (44" X 44")	14 COKE FIXTURE

ACCESSIBILITY KEY

THESE PLANS, AS DRAWN, COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS OR RULES OF ANY LOCAL, COUNTY, STATE, FEDERAL, AND OTHER GOVERNMENTAL AUTHORITY AND ANY SUBORDINATE OR DEPARTMENT THEREOF, WHICH MAY BE APPLICABLE INCLUDING, BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT AND THE REGULATIONS THERE UNDER.



General Contractor Notes & Information

*CHARTER HOUSE HOLDINGS, LLC / CHARTER-HOUSE INNOVATIONS / CHI

GENERAL CONSTRUCTION

- ALL WORK, CONSTRUCTION, AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE INTERNATIONAL BUILDING CODE & OR CURRENT APPLICABLE GOVERNING CODES ALONG WITH RULES, REGULATIONS, AND ORDINANCES GOVERNING THE PLACE OF CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF ALL PARTIES SUPPLYING LABOR OR MATERIAL OR BOTH, TO BRING TO THE ATTENTION OF THE PROJECT MANAGER & OWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE CODE REQUIREMENTS AND THESE PLANS.
- THE APPLICABLE CODES SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO: THE UNIFORM BUILDING CODE, BOCA NATIONAL BUILDING CODE, UNIFORM PLUMBING CODE, UNIFORM ELECTRICAL CODE, UNIFORM MECHANICAL CODE, AND THE UNIFORM FIRE CODE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK & MATERIALS IN ACCORDANCE WITH ALL LOCAL AND/OR CITY BUILDING CODES.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL AMERICANS WITH DISABILITIES ACT GUIDELINES, TO INCLUDE BUT NOT LIMITED TO TABLE TOP/BASE INSTALLATIONS, ASLE WAY CLEARANCES, AND QUEUE LINE AREA CLEARANCES.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COPYING & DISTRIBUTING CHARTER-HOUSE PLANS & DOCUMENTS TO ALL SUBCONTRACTORS INVOLVED.

DELIVERY OF PRODUCT

- DAMAGED PRODUCT UPON RECEIPT MUST BE DOCUMENTED ON THE BILL OF LADING. MUST CONTACT PROJECT MANAGER IMMEDIATELY (616) 399-6000. FAILURE TO DOCUMENT DAMAGE & CONTACT CH WILL ABSOLVE CH FROM RESPONSIBILITY.
- INSPECT THE EXTERIOR OF ALL PACKAGING & VERIFY BILL OF LADING. "CHECK FOR TEARS, CRUSHING, HOLES, ETC." COMPARE SHRINK-WRAP OR TAPE & WATCH FOR MULTIPLE KINDS OF WRAP OR DIFFERENT TAPE ON BOXES. "LISTEN FOR RATTLING OR LOOSE PARTS DURING UNLOADING." WATCH FOR POSSIBLE WEIGHT DISCREPANCIES DURING UNLOADING.
- IF YOU NOTICE ANY OF THE ABOVE, ASK FOR A JOINT INSPECTION & SPECIFY NOTATIONS ON THE CARRIER'S RECEIPT. IF THE DELIVERING PARTY REFUSES, INSIST ON A NOTATION OF WHAT YOU HAVE NOTICED & CALL THE CARRIER IMMEDIATELY UPON COMPLETING YOUR INSPECTION.
- ALWAYS KEEP GOOD NOTES OF DATES, TIMES, AND PERSONS SPOKEN TO.
- CONCEALED DAMAGE: IF THE CARRIER'S RECEIPT HAS BEEN SIGNED OFF, AND DAMAGE IS NOTICED INSIDE OF THE PACKAGING, CALL THE CARRIER AND REQUEST INSPECTION IMMEDIATELY. ALSO NOTIFY YOUR CHI PROJECT MANAGER OR SHIPPING DEPT WITHIN 48 HOURS.
- ANY OTHER CONCERNS OR QUESTIONS PLEASE CALL YOUR PROJECT MANAGER.
- GENERAL CONTRACTOR AND/OR OWNER ARE RESPONSIBLE FOR PROTECTION OF PRODUCT WHILE IN THE PROCESS OF BEING INSTALLED. ANY PRODUCT DELIVERED IN GOOD CONDITION, BUT DAMAGED ON SITE IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND/OR OWNER.

NEW & REMODEL PROJECTS

- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALE IN ALL CASES. DO NOT SCALE OFF PLANS. FOR ADDITIONAL DIMENSIONS CALL THE PROJECT MANAGER (616) 399-6000.
- THESE PLANS ARE THE PROPERTY OF CHARTER HOUSE HOLDINGS, LLC. THESE PLANS MAY NOT BE REPRODUCED OR IMPLEMENTED IN ANY WAY, IN PART OR IN WHOLE, WITHOUT THE EXPRESS CONSENT OF CHI. UNAUTHORIZED USE WILL RESULT IN PAYMENT DUE FOR SERVICES RENDERED.
- CHI REQUESTS VERIFICATION OF FIELD DIMENSIONS FROM THE GENERAL CONTRACTOR FOR THE FABRICATION OF COMMERCIAL FURNITURE, DECOR, CORE DRILL, AND SPACE PLANS WHEN FIELD DIMENSIONS CAN NOT BE ATTAINED. LATE SHIPMENTS MAY RESULT.
- IF SPECIFIED ITEMS ARE NOT AVAILABLE, CONTACT YOUR PROJECT MANAGER AT CHI.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS AT THE JOB SITE AND NOTIFY CH OF ALL DISCREPANCIES PRIOR TO COMMENCING WORK.
- GENERAL CONTRACTOR TO PROVIDE A MINIMUM OF 40 LBS OF FLOOR TILE GROUT TO FINISH THE CORE DRILLED HOLES.
- WALLCOVERINGS & CHAIR RAIL MUST RETURN INTO WINDOW.
- GENERAL CONTRACTOR WILL BE RESPONSIBLE OF DISPOSAL OF ALL PACKAGING MATERIAL FROM SEATING & DECOR PRODUCTS.
- GENERAL CONTRACTOR TO POSITION THERMOSTAT / VOLUME CONTROL / AND OTHER LIKE ITEMS TO NOT INTERFERE WITH THE CH DECOR.

REMODEL PROJECTS ONLY

- IN CASES OF REMODELING, THE EXISTING SEATING, STEEL, DECOR, & WALL FINISHES ARE TO BE REMOVED BY THE OWNER AND / OR GENERAL CONTRACTOR. IT IS NOT THE RESPONSIBILITY OF CHI.
- ALL DIMENSIONS ARE FROM EXISTING FINISHES. PLEASE MAKE APPROPRIATE ALLOWANCES FOR ANY NEW FINISHES.
- PLEASE CONTACT CHI CONCERNING CONFLICTS BETWEEN CHI DECOR & ELECTRICAL OR HVAC PLACEMENT.

FLOORING NOTES

- A MINIMUM 5" CONCRETE SLAB IS REQUIRED FOR ALL CORE DRILLING.
- ALL FLOOR & COVE BASE TILE TO BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR.
- NEW FLOOR & BASE TILE TO BE INSTALLED AND GROUTED 48 HOURS PRIOR TO CHI PRODUCT INSTALLATION. IF DAMAGE OCCURS DUE TO INSUFFICIENT CURING TIME, REPAIRS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- CHI IS NOT LIABLE FOR CORED STEEL THAT BECOMES UNSTABLE AS A RESULT OF DRILLING THROUGH A CONCRETE SLAB LESS THAN 5" THICK.
- CHI IS NOT RESPONSIBLE FOR DAMAGE OF ANY MECHANICAL, LOCATED WITHIN 5" OF THE FINISHED FLOOR.
- COVE BASE / BULLNOSE TILE (IF REQ'D) ON ALL CHI DIVIDER WALLS TO BE SUPPLIED & INSTALLED BY THE GENERAL CONTRACTOR.

ELECTRICAL, HVAC, AND CEILING NOTES

- USE LIGHTING LAYOUT AS A GUIDELINE ONLY. CHI WILL NOT BE HELD LIABLE FOR ADDITIONAL COSTS DUE TO ADJUSTING LIGHTING QTY'S OR LOCATIONS FOR PERSONAL PREFERENCES, VARIATIONS WITH ARCHITECTURAL PLANS, OR LOCAL CODES.
- GO TO SUPPLY AND CONNECT ELECTRICAL DIGITAL AT ALL CODED LOCATIONS FOR CHI PRODUCT.
- ALL ELECTRICAL FIXTURES, WIRING, AND INSTALLATIONS TO BE UL APPROVED.
- ALL CEILING TILES AND GRID TO BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR. IN CASE OF REMODELING THE CEILING TILE AND GRID SHOULD BE REMOVED ONLY IF REQUESTED BY THE CUSTOMER.
- PLEASE CONTACT YOUR CHI PROJECT MANAGER CONCERNING ANY CONFLICTS BETWEEN PLACEMENT OF CHI DECOR ELEMENTS.
- GENERAL CONTRACTOR TO CONTACT CONSTRUCTION ENGINEERING TO VERIFY FINAL PLACEMENT OF HVAC.
- CHI WILL INCLUDE REFLECTED CEILING PLANS WHEN (1) ADDITIONAL LIGHTING IS SPECIFIED IN DINING AREAS BEYOND THE EXISTING CONDITIONS OR BEYOND ARCHITECTURAL PLANS. (2) CHI DECOR INTERFERES WITH CEILING ELEMENT OR (3) IF CEILING IS BEING REPLACED.

SITE CONDITIONS FOR CHI DECOR INSTALLATION

- IT IS IMPORTANT FOR THE FOLLOWING WORK TO BE COMPLETED PRIOR TO THE ARRIVAL OF CHI PRODUCT AND / OR INSTALL CREWS. THESE CONDITIONS ARE ESTABLISHED TO INSURE THAT PRODUCT IS INSTALLED MOST EFFICIENTLY (WITHOUT DAMAGE TO PRODUCT) AND UNDER SAFE CONDITIONS.
- ALL INTERIOR WALL FINISHES TO BE COMPLETE, INCLUDING (BUT NOT LIMITED TO): WALLCOVERING, WAINSCOTING, PAINT, AND CHAIR RAIL.
- FLOOR AND BASE TILE TO BE TILED AND GROUTED FOR A MINIMUM OF 48 HOURS PRIOR TO ARRIVAL.
- GENERAL CONTRACTOR TO PROVIDE A MINIMUM OF 40 POUNDS OF FLOOR TILE GROUT TO FINISH THE CORE DRILLED HOLES.
- ALL HVAC WORK TO BE COMPLETE.
- CEILING TRACK AND TILE TO BE INSTALLED.
- ALL WINDOWS TO BE INSTALLED IN BUILDING.
- ELECTRICAL SERVICE TO 120V / 30 AMP CIRCUITS FOR CORE DRILLING.
- POTABLE WATER SUPPLY.
- OPERATING LIGHTS (ADEQUATE FOR EVENING WORK).
- CLEAN AND OPEN WORK AREA IN DINING ROOM.
- WASTE DUMPSTER ON-SITE.
- FINISHED PARKING LOT OR SUBSURFACE WITH 1" OF FINISHED GRADE.
- UNENCUMBERED AND CONTINUOUS ACCESS TO THE BUILDING.
- GENERAL CONTRACTOR RESPONSIBLE FOR TEMPORARY POWER IF ELECTRICAL SERVICE IS UNAVAILABLE.

IMPORTANT NOTES

- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALE IN ALL CASES.
- THE GENERAL CONTRACTOR MUST VERIFY ALL BUILDING DIMENSIONS, EQUIPMENT, FURNITURE PLACEMENT, UTILITY LOCATIONS, AND CONDITIONS AT THE JOB SITE.
- THE GENERAL CONTRACTOR MUST NOTIFY CHI OF ALL DISCREPANCIES AND / OR REQUIRED ADJUSTMENTS PRIOR TO STARTING WORK OR DEPARTURE THEREOF, WHICH MAY BE APPLICABLE INCLUDING, BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT AND THE REGULATIONS THERE UNDER.
- DO NOT SCALE OFF PLANS. CALL YOUR CHI PROJECT MANAGER TO VERIFY ANY QUESTIONABLE DIMENSIONS (616) 399-6000.
- ALL DIMENSIONS ARE FOR DESIGN INTENT ONLY.
- CHARTER-HOUSE HAS PREPARED THESE DOCUMENTS AS ACCURATELY AS POSSIBLE WITH THE ARCHITECTURAL INFORMATION PROVIDED. DUE TO LACK OF ACCURATE AND COMPLETE DIMENSIONED ARCHITECTURAL PLANS, OWNER UNDERSTANDS THAT ADJUSTMENTS TO THE FINAL LOCATIONS OF EQUIPMENT AND / OR FURNITURE PLACEMENT MAY BE REQUIRED AT THE OWNER'S EXPENSE DUE TO DISCREPANCIES BASED ON ACTUAL JOB SITE DIMENSIONS AND CONDITIONS.
- REFER TO ARCHITECTURAL OR ENGINEERING DRAWINGS FOR COMPLETE AND ACCURATE DIMENSIONS OF BUILDING STRUCTURE.
- THESE ARE CONTRACT DOCUMENTS AND THE INFORMATION THEY CONTAIN ARE THE PROPERTY OF CHARTER-HOUSE.
- ALL CONTRACT DOCUMENTS MAY NOT BE COPIED, REPRODUCED, USED OR IMPLEMENTED IN ANY WAY, IN PART OR IN WHOLE, WITHOUT THE EXPRESS WRITTEN CONSENT OF CHARTER-HOUSE.
- ANY UNAUTHORIZED USE OF THESE PLANS WILL RESULT IN PAYMENT DUE FOR SERVICES RENDERED BY CHARTER-HOUSE.
- ANY DEVIATIONS FROM THESE DRAWINGS FOR ANY REASON SHALL NOT BE DONE WITHOUT CONSENT OF CHARTER-HOUSE IN ADVANCE. IN WRITING. CHARTER-HOUSE IS NOT RESPONSIBLE FOR OMISSIONS, CHANGES, ADDITIONS, OR DELETIONS NOT REVIEWED AND APPROVED IN ADVANCE BY CHARTER-HOUSE.
- THESE DOCUMENTS REFLECT EQUIPMENT ORDERED OF DATE SHOWN ON DRAWINGS.



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CHICK-FIL-A
CITY GATE

3819 WHITE LAKE BLVD
NAPLES, FL 34117

FSR#05695

BUILDING TYPE / SIZE: P14 LE XP 23.11

PRINTED FOR CONSTRUCTION

REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT # ###

DATE 12/18/23

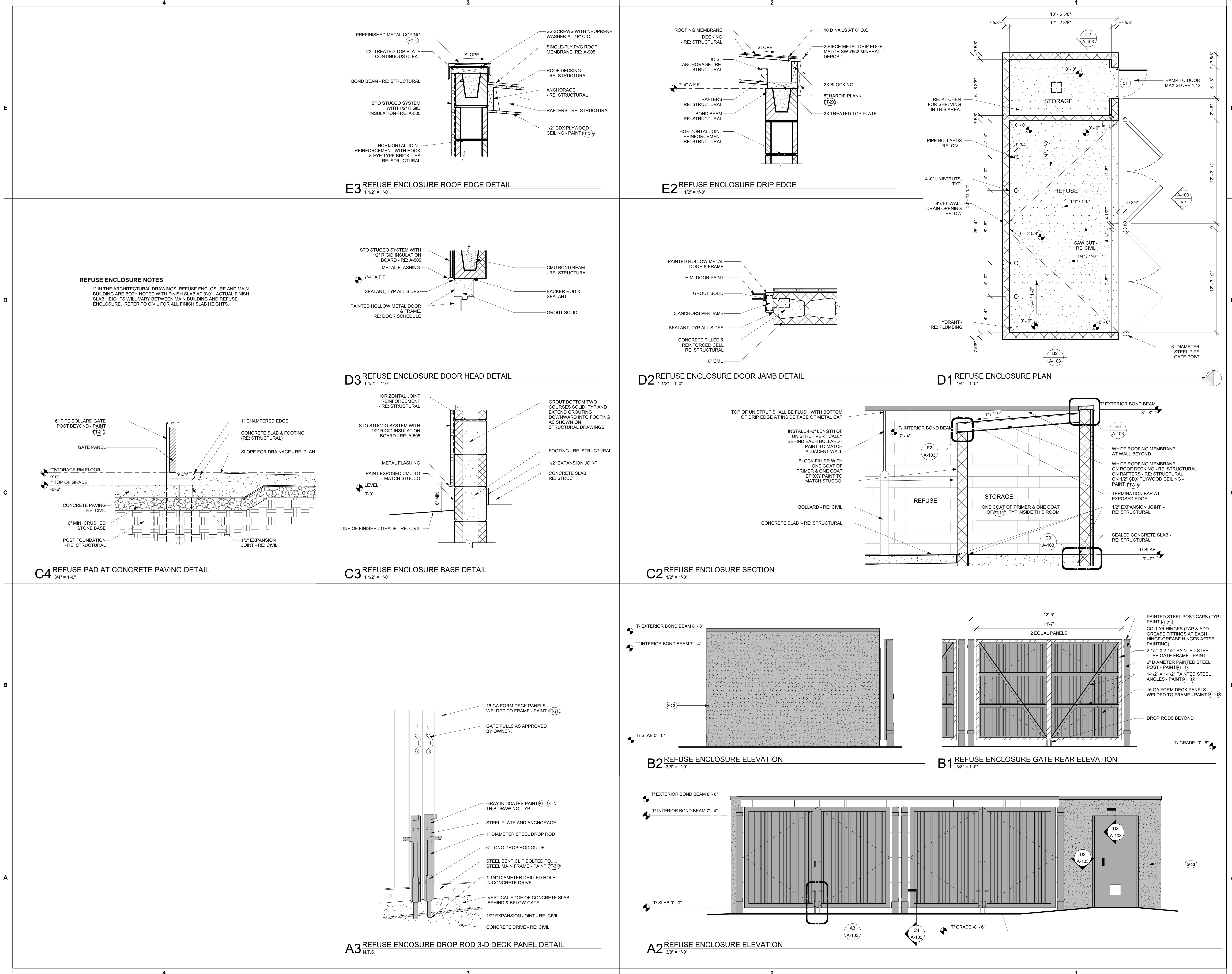
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FURNITURE FLOOR PLAN

SHEET NUMBER

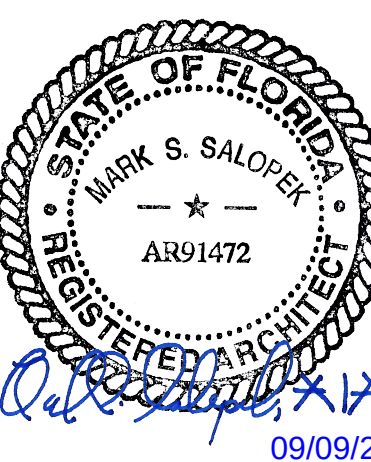
F-201



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Phone 330.512.2112



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DATE 08/16/24
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SHEET
REFUSE ENCLOSURE
SHEET NUMBER
A-103